BOUNTIFUL CITY COUNCIL MEETING TUESDAY, October 13, 2015 Work Session – 6:30 p.m. Regular Meeting - 7:00 p.m.

NOTICE IS HEREBY GIVEN that the City Council of Bountiful, Utah will hold its regular Council meeting at City Hall, 790 South 100 East, Bountiful, Utah, at the time and on the date given above. The public is invited to both the Work Session and Regular Meeting. Deliberations will occur in both meetings. Persons who are disabled as defined by the Americans With Disabilities Act may request an accommodation by contacting the Bountiful City Manager at 801.298.6140. Notification at least 24 hours prior to the meeting would be appreciated.

If you are not on the agenda, the Council will not be able to discuss your item of business until another meeting. For most items it is desirable for the Council to be informed of background information prior to consideration at a Council meeting. If you wish to have an item placed on the agenda, contact the Bountiful City Manager at 801.298.6140.

AGENDA

Work	<u>Session – 6:30 p.m.</u>	
1.	Discussion of gun range land exchange – Mr. Russell Mahan	p. 3
Regula	r Session – 7:00 p.m.	
1.	Welcome, Pledge of Allegiance and Thought/Prayer	
2.	Approve minutes of previous meeting – September 8 & 22, 2015	p. 5
3.	Council Reports	1
4.	Youth Council Report	
5.	Consider approval of weekly expenditures > \$1,000 paid September 14, 22 & 28, 2015	p. 15
6.	Presentation of Award from the Utah Chapter of the American Planning Association	•
7.	Consider approval of Resolution 2015-13 providing support for passing the special Davis County	^r School
	District Bond in the November election – Mr. Gary Hill	p. 19
8.	Consider approval of the purchase of four police vehicles in the amount of \$108,456 - Chief Ton	1 Ross
		p. 21
9.	Consider approval of Ordinance 2015-17 amending Section 5-12-102 of the City Code to correct	the
	Temporary License Fee rate – Mr. Chad Wilkinson	p. 23
10.	Consider approval of the preliminary and final site plan for a drive thru beverage establishment,	Sips, at
	2223 South Main, Matt Perry, applicant – Mr. Chad Wilkinson	p. 27
11.	Consider approval of the preliminary and final site plan for a drive thru beverage establishment a	t 588
	West 2600 South, Dain Black, applicant – Mr. Chad Wilkinson	p. 41
12.	Adjourn	

City Recorder

Subject: Gun Range Land Exchange Author: Russell Mahan Department: City Attorney Date: October 13, 2015



Background

Developers Ron Crapo and Jaren Davis have requested that the City Council issue a letter of support for their request that Congress approve a land exchange of their privately owned 160 acres above Stone Ridge (just outside the City limits, formerly owned by Ken Patey) for the Forest Service land around the Lion's Club shooting range. It is their expressed intention to develop part of the land into residences, keep part of the land open, and convey the shooting range itself to the Lion's Club.

The developers have not disclosed any details of their intended project, such as the number or type of residential units or how it will connect to existing streets in Bountiful and Centerville. It is nonetheless clear that the development will raise issues of reducing open space, constructing residences closer to the gun range, housing density, zoning, changing hillside development restrictions, the need to use City-owned land, and annexation of unincorporated areas.

<u>Analysis</u>

Endorsement of the land exchange may lead to the perception that the City Council endorses this development of this property. As a practical matter, it will be difficult for the City Council to endorse the land exchange now and then later refuse to approve the actions necessary to implement the development, such as annexation, re-zoning, amending the Land Use Ordinance and the use of City property.

Department Review

This staff report was prepared by the City Attorney and reviewed by the City Manager.

Significant Impacts

The intended project of Mr. Crapo and Mr. Davis will have a significant impact on the hillside on the north end of town. Sixty acres of readily visible open space will be developed with housing. Residential homes will be brought closer to the gun range. Important decisions about hillside development will have to be made.

Recommendation

It is recommended by staff that the City Council decline to issue a letter of support for the land exchange, and instead let the proposal be handled by Congress and the Forest Service. This will preserve the Council's ability to later impartially consider the issues of housing, density, zoning, open space and annexation without having endorsed the project beforehand. Should the exchange occur, the Council will be in a position to deal with the development plans that come before it in the ordinary course of business.

If it is the Council's consensus that it should further consider taking a position recommending that Congress approve the exchange, it is staff's advice that the Council take further steps before issuing any endorsement. These steps include requiring Mr. Davis and Mr. Crapo to give full detailed disclosure of what their intentions actually are for the development, referring the matter to the Planning Commission for consideration and recommendation, and providing an opportunity for public input at the Planning Commission or City Council. Then the Council would have information available for making any recommendation.

Attachments

None.

1			Minutes of the					
2	BOUNTIFUL CITY COUNCIL							
3	September 8, 2015 – 6:03 p.m.							
4								
5	Present:	Mayor:	Randy Lewis					
6		Council Members:	Kendalyn Harris, Richard Higginson, Beth Holbrook,					
7			John Marc Knight, John Pitt					
8		City Manager:	Gary Hill					
9		City Engineer:	Paul Rowland					
10		City Attorney:	Russell Mahan					
11		City Planner:	Chad Wilkinson					
12		Department Directors & Per						
13			Tom Ross- Police Chief					
14			Tyson Beck – Finance Director					
15			Brock Hill – Parks Director					
16			Allen Johnson – Light & Power Director					
17			Lloyd Cheney – Asst. City Engineer					
18								
19 20		Recording Secretary:	Nikki Dandurand					
20 21	Offici	al Nation of the City Council	Maating was given by posting on A ganda at City Hall and					
21			Meeting was given by posting an Agenda at City Hall and ah Public Notice Website, and by providing copies to the					
22			ion: Davis County Clipper and Standard Examiner.					
23 24	ionowing i	lewspapers of general encular	ion. Davis County Chipper and Standard Examiner.					
25		Work S	Session – 6:03-7:05 p.m.					
25 26		<u>vvork e</u>						
20 27	DOCS IN	PARKS/I FASH I AW DISC	CUSSION – MR. BROCK HILL					
28			ent dog leash law, which is over 20 years old. The dog at					
20 29			mal ordinance. The Bountiful City Code currently states					
30			ity parks and on leash only outside private property. Mr.					
31			valking their dogs in the parks on leash are in violation of the					
32			Hill stated he has been working with a few local residents					
33	•	0	s. The biggest concern is the pickup of dog waste by the					
34			ge the owners to be responsible for their dogs. Dog waste					
35			leash parks to establish areas for all residents to enjoy. The					
36			ks to convert, rules for the parks and enforcement. Mayor					
37	Lewis concluded by saying that this item needs to be addressed and is excited to help the residents of							
38		joy the outdoors with their dog						
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40			<u>NG DISCUSSION – MR. CHAD WILKINSON</u>					
41			m the last discussion at a work session in January 2015 and					
42			assisted living center directors. Two sites were in the					
43			has since been removed. The remaining site is set for final					
44			the Council what direction they would like to					
45	go. Councilman Higginson re-emphasized that we do not want any commercial ground being							

1 converted for use as assisted living centers, and added that he did not have a strong opinion if the

2 Council wanted to remove or modify the density bonus. Councilwoman Holbrook agreed with the

3 emphasis on restricting conversion of commercial sites. She stated that she would be willing to look

4 at modifying or adapting the density bonus, but was also fine with restrictions in certain zones.
5 Councilwoman Harris stated that she would like to look at the density bonus, and asked if anyone

6 was against it. Councilman Pitt replied he was not against looking at it. Councilman Knight stated his

7 belief that assisted living was best suited for the hospital zone, although there might be specific

8 arguments for it being built elsewhere.

<u>Regular Meeting – 7:05 p.m.</u> City Council Chambers

Mayor Lewis called the meeting to order at 7:05 p.m. and welcomed those in attendance. Jaron Hamblin, Troop 431, led the Pledge of Allegiance; Carolyn Black, resident, gave a prayer.

16 APPROVAL OF MINUTES

Minutes of the August 11, 2015 meeting were presented. Councilman Higginson made a
 motion to approve the minutes as presented, and Councilwoman Harris seconded the motion. Voting
 was unanimous with Councilpersons Harris, Higginson, Holbrook, Knight and Pitt voting "aye".

21 COUNCIL REPORTS

Councilwoman Holbrook said thank you to all that participated in the Summer Concert Series. Councilman Higginson wanted to give a special thanks to our Police Department and encouraged the citizens to do the same. Councilman Pitt said thank you as well to all that helped with the many summer events this year.

27 YOUTH COUNCIL REPORT

28 Council members Jeremy Mumford and Sarah Peters reported on the help they provided for 29 the Tour of Utah, and plans for the upcoming Pumpkin Patch.

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31 <u>CONSIDER APPROVAL OF WEEKLY EXPENDITURES > \$1,000 PAID JULY 27,</u> 32 <u>AUGUST 3, 17, 18 (JUNE INVOICES), 23 & 24, 2015 AND THE MONTHLY FINANCIAL</u> 33 REPORTS FOR JUNE 2015

Mayor Lewis presented the weekly expenditure summary paid on July 27 for \$137,380.37, August 3 for \$321,797.51, August 17 for \$45,580.45, August 18 (June Invoices) for \$81,832.00, August 23 for \$9,064.86 and August 24 for \$1,368,957.95. Councilman Pitt moved to approve the expenditures as presented, and Councilman Higginson seconded the motion. Voting was unanimous with Councilpersons Harris, Higginson, Holbrook, Knight and Pitt voting "aye".

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40 DAVIS COUNTY SCHOOL DISTRICT BOND PRESENTATION - MR. CRAIG CARTER, 41 DAVIS COUNTY SCHOOL DISTRICT

42 Mr. Carter turned the time over to Rulon Homer, High School Director for Davis County

43 School District. Mr. Homer explained the need for this bond and the reasons behind it. The growth

44 in Davis County has been substantial. Currently there are numerous portable classrooms within the

45 district, some schools are on a year round calendar and boundary adjustments have been made to

46 support the increased growth. Mueller Park Jr. High, Viewmont High and Woods Cross High are on

1 the list of schools that need additional money to accommodate the students. Mr. Carter then

2 explained the funding, additional tax increase to fund the bond and budget issues associated with this

3 bond. They asked that Bountiful City pass a resolution to support the bond at the next election.

4 Mayor Lewis concluded that as a County, we need to share in the things that are good for the 5 community.

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7 PUBLIC HEARING: THE PURPOSE AND OPERATION OF THE PROPOSED SOUTH 8 DAVIS FIRE SERVICE AREA THAT WILL PROVIDE FIRE PROTETION, EMERGENCY 9 RESPONSE SERVICES, EMERGENCY MEDICAL RESPONSE, PARAMEDIC, 10 AMBULANCE SERVICES AND RELATED SERVICES AND RECEIVE PUBLIC INPUT 11 ON THE PROPOSED LOCAL DISTRICT – MR. RUSSELL MAHAN

Mr. Mahan explained the current situation of local Fire Services, why this proposal is open for a public hearing and the dates of the protest period. No actions will be taken by the City Council tonight. Chief Bassett discussed the current budget and interlocal agreement, and said there are major capital issues that need to be addressed. Since the current entity is a non-taxing authority, it makes bonding for capital expenses impossible. Chief Bassett went on to describe the conditions of some of the fire stations and needs of our local emergency response teams.

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19 PUBLIC HEARING: OPEN: 7:43 P.M.

- Van Nielson strongly supports our emergency responders
- *Kim Ball* 900 North 1000 East asked to have the process explained for increasing taxes. Chief Bassett responded. Mayor Lewis also added that several months ago, the City was strongly against this proposal, but with some explaining, we are comfortable to move forward. Mr. Mahan also explained that all City Managers and Mayors within the area will be on the new governing board.
 - *Gary Davis* 2841 South 500 West asked to clarify what the reasons were for creating the special district and where the funding comes from.
- *Kate Bradshaw* 379 North 650 East Asked how we know if Bountiful gets its fair share of the bond money. Mr. Gary Hill responded that it is on an assessed value. Mr. Mahan also explained that Bountiful is not responsible for the existing bond amount.

Mr. Mahan closed the hearing by reading the public protest process. *CLOSED: 8:05 P.M.*

35 <u>CONSIDER APPROVAL OF A QUIT CLAIM DEED ON RICHARD SHARP PROPERTY</u> 36 <u>LOCATED AT 500 EAST MILL STREET – MR. RUSSELL MAHAN</u>

Mr. Mahan stated this approval is necessary to clear the title on the Sharp property by a quitclaim deed to Mr. Sharp. This arises from the acquisition of the Swaney property adjacent to the proposed park on 500 East Mill Street. Councilwoman Harris made a motion to approve the quit claim deed, and Councilman Pitt seconded the motion. Councilman Higginson made it known that this does not warrant any items to the Sharps and the City has no claim to the title. Voting was unanimous with Councilpersons Harris, Higginson, Holbrook, Knight and Pitt voting "aye".

44 <u>CONSIDER APPROVAL OF THE STEEL POLE BID FROM SABRE IN THE AMOUNT OF</u> 45 <u>\$97,179 – MR. ALLEN JOHNSON</u>

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 - Mr. Johnson stated the work was started this week and will hopefully be completed by spring

1 2016. Three bids were received, but one was not complete. Mr. Johnson asked that the low bid from

- Sabre to be approved for the purchase. Councilwoman Harris made a motion to approve the 2
- 3 purchase, and Councilman Higginson seconded the motion. Voting was unanimous with
- 4 Councilpersons Harris, Higginson, Holbrook, Knight and Pitt voting "aye".
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6 CONSIDER APPROVAL OF THE VOLTAGE TRANSFORMER BID FROM CODALE 7 ELECTRIC IN THE AMOUNT OF \$30,701 - MR. ALLEN JOHNSON

- 8 Mr. Johnson stated that two local bids were received, with Codale being the low bid. 9 Councilwoman Holbrook moved to approve the purchase, and Councilman Higginson seconded the 10 motion. Voting was unanimous with Councilpersons Harris, Higginson, Holbrook, Knight and Pitt 11 voting "aye".
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CONSIDER APPROVAL OF AN INTERIOR PAINTING CONTRACT FOR THE PUBLIC 13 14 SAFETY BUILDING WITH PECK'S PAINTING IN THE AMOUNT OF \$28,905 – CHIEF 15 **TOM ROSS**

Chief Ross presented a bid with a local company for the interior painting of the building. 16 17 Councilman Knight moved to approve the contract, and Councilman Pitt seconded the motion. 18 Voting was unanimous with Councilpersons Harris, Higginson, Holbrook, Knight and Pitt voting "aye". 19

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21 CONSIDER APPROVAL OF CONTRACT TO REPAIR THE MILLSTREAM WAY SLOPE WITH IMPRESSIVE HOMES IN THE AMOUNT OF \$77,163 - MR. LLOYD CHENEY 22

23 Mr. Cheney explained that last year, some damage to the slope was caused by a water pipe 24 leak. A previous bid was received, but was too high at the time. There are two bids currently, and 25 approval of the low bid is recommended. Councilman Higginson moved to approve the contract, and 26 Councilwoman Holbrook seconded the motion. Voting was unanimous with Councilpersons Harris, 27 Higginson, Holbrook, Knight and Pitt voting "aye".

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29 PUBLIC HEARING: CONSIDER AMENDING THE PROVISION OF CHAPTER 6 AND 30 CHAPTER 14 OF THE BOUNTIFUL CITY LAND USE ORDINANCE RELATED TO ALLOWING TELECOMMUNICATIONS FACILITES WITHIN COMMERCIAL ZONES -31 32 MR. CHAD WILKINSON

33 Mr. Wilkinson stated the current Bountiful City Land Use Ordinance includes standards for 34 telecommunication towers (commonly referred to as cellular or cell towers) which stipulate that these 35 facilities not be placed in residential areas unless there is no other alternative. In contrast, the list of 36 allowed uses for the commercial zone districts in Bountiful does not allow the use of 37 telecommunications facilities in commercial zones. The proposed amendment would modify the 38 table of allowed uses to permit telecommunications uses on City owned properties in Commercial 39 zones and conditional uses on non-city owned property in these zones.

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PUBLIC HEARING: OPEN: 8:24 P.M.

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Casey Urb - asked for better clarification on residential vs. public property and why •

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CLOSED: 8:26 P.M.

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Councilman Higginson stated that if the City can collect revenue, it will help the residents. If the towers are placed on school property, it will not benefit as much. Mr. Mahan concluded that the

ordinance is not prepared at this time, so no vote can be taken. This item is postponed for the next
 agenda.

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4 CONSIDER APPROVAL OF A SUBDIVISION AMENDMENT FOR NORTHERN HILLS 5 SUBDIVISION PLAT B IN ORDER TO COMBINE LOTS 63 & 64 LOCATED AT 1232 6 EAST NORTHERN HILLS, BRAD MILLER, APPLICANT – MR. PAUL ROWLAND

Council reviewed the amendment and Councilman Higginson made a motion to approve the
subdivision amendment, and Councilman Knight seconded the motion. Voting was unanimous with
Councilpersons Harris, Higginson, Holbrook, Knight and Pitt voting "aye".

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11 <u>CONSIDER PRELIMINARY AND FINAL PLAT APPROVAL OF THE ORCHARD PINES</u> 12 <u>PUD COMMERCIAL LOT 2 CONDOMINIUM AT 2155 SOUTH ORCHARD DRIVE,</u> 13 KNOWLTON GENERAL, APPLICANT – MR. PAUL ROWLAND

Mr. Rowland stated the applicant only wishes to change the ownership with the final plat approval. Councilman Pitt made a motion to approve the preliminary and final plat approval, and Councilman Higginson seconded the motion. Voting was unanimous with Councilpersons Harris, Higginson, Holbrook, Knight and Pitt voting "aye".

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19 CONSIDER APPROVAL OF PRELIMINARY AND FINAL SITE PLAN TO DEVELOP

20 PHASE 2 OF A MULTI-FAMILY AND COMMERCIAL MIXED USE DEVELOPMENT 21 FOR KNOWLTON GENERAL TO INCLUDE 2 PARCELS LOCATED AT

APPROXIMATELY 35 WEST 100 SOUTH, HEPWORTH INVESTMENTS, APPLICANT –
 MR. CHAD WILKINSON

Mr. Wilkinson stated that preliminary approval was granted a few weeks ago, but the total number of units has changed, the parking was fixed and phase 3 was completely removed. The Planning Commission recommends approval with the following conditions being met:

- 1. Complete any and all redline corrections, including modifications.
- 28 2. Prior to issuance of building permits, the property shall be consolidated into one29 parcel.
- 30 3. Prior to final approval, submit a revised final landscape plan consistent with the
 31 amended plan and meeting the requirements of Chapter 16 of the Bountiful City
 32 Zoning Ordinance.
- 4. Approval of the amended Conditional Use Permit and site plan rescinds the previous
 approval. Any development of area shown as future phase will require additional
 approval by the Planning Commission and City Council.
- 3637 Mr. Wilkinson continued that if the conditions are met, a permit will be approved.
- 38 Councilwoman Holbrook made a motion to rescind the original approval and to approve the amended
- 39 preliminary and final plat approval with the revised wording, and Councilman Higginson seconded
- the motion. Voting was unanimous with Councilpersons Harris, Higginson, Holbrook, Knight and
 Pitt voting "aye".
- 41 Pi 42

43 <u>CONSIDER APPROVAL OF RESOLUTION 2015-10 APPOINTING JOHN MARC KNIGHT</u> 44 AND CHAD WILKINSON AS BOUNTIFUL CITY REPRESENTATIVES FOR THE

44 <u>AND CHAD WILKINSON AS BOUNTIFUL CITY REPRESENTATIVES FOR THE</u> 45 BOUNTIFUL REDEVELOPMENT AGENCY TAXING ENTITY COMMITTEE – MR.

46 CHAD WILKINSON

1	Mr. Wilkinson stated that within all the taxing entities there are many representatives.
2	Councilman Higginson made a motion to approve Resolution 2015-10, and Councilwoman Holbrook
3	seconded the motion. Voting was unanimous with Councilpersons Harris, Higginson, Holbrook,
4	Knight and Pitt voting "aye".
5	Councilwoman Holbrook made a motion to close the regular session and adjourn to a closed
6	session to discuss the acquisition or sale of real property, pending litigation and/or to discuss the
7	character and/or competency of an individual(s) (Utah Code 52-4-205) and Councilman Higginson
8	seconded the motion. Voting was unanimous with Councilpersons Harris, Higginson, Holbrook,
9	Knight and Pitt voting "aye".
10	The regular meeting of City Council was adjourned at 8:38 p.m.
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13	Attendees in Closed Session:

Attendees in Closed Session:

14	Mayor:	Randy Lewis
15	Council Members:	Kendalyn Harris, Beth Holbrook, Richard Higginson, John Marc
16		Knight, John Pitt
17	City Manager:	Gary Hill
18	City Attorney:	Russell Mahan
19	City Engineer:	Paul Rowland
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28		Mayor, Randy Lewis
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37	City Recorder, Sl	hawna Andrus
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1			Minutes of the						
2	BOUNTIFUL CITY COUNCIL								
3	September 22, 2015 – 7:00 p.m.								
4									
5	Present:	Mayor:	Randy Lewis						
6		Council Members:	Kendalyn Harris, Richard Higginson, Beth Holbrook,						
7			John Marc Knight, John Pitt						
8		City Manager:	Gary Hill						
9		Assistant City Manager:	Galen Rasmussen						
10		City Engineer:	Paul Rowland						
11		City Attorney:	Russell Mahan						
12		City Planner:	Chad Wilkinson						
13		Department Director's & Pe	ersonnel:						
14			Brock Hill – Parks Director						
15		Recording Secretary:	Nikki Dandurand						
16									
17			Meeting was given by posting an Agenda at City Hall and						
18			c Notice Websites, and by providing copies to the following						
19	newspapers	s of general circulation: Davis	County Clipper and Standard Examiner.						
20		_							
21		<u>1</u>	No Work Session						
22									
23		Regula	ar <u>Meeting – 7:03 p.m.</u>						
24	<u>City Council Chambers</u>								
25									
26	May	yor Lewis called the meeting t	o order at 7:03 p.m. and welcomed those in attendance.						
27		-	of Allegiance; Dan Lake, Bountiful resident, gave a prayer.						
28	7 1								
29	APPROVA	AL OF MINUTES							
30	Mir	nutes of the September 8, 2015	5 meeting were presented. Councilman Higginson had some						
31	questions a	bout the work session minutes	and suggested to postpone the approval of minutes until						
32	further revi	ew. Councilman Knight made	e a motion to postpone approval of the presented minutes						
33	until the ne	xt City Council meeting, and	Councilman Higginson seconded the motion. Voting was						
34	unanimous	with Councilpersons Harris, H	Higginson, Holbrook, Knight and Pitt voting "aye".						
35									
36		<u> REPORTS</u>							
37		U U	f Ross for a great presentation at the Utah League of Cities.						
38			DAC for their open house tonight and recommended to the						
39			for City Hall. Councilman Higginson congratulated						
40		-	d to serve as Second Vice President of the Utah League of						
41	Cities and 7	lowns.							
42 43	VOLTTL	ЛІМСІІ ДЕДОДТ							
43 44		COUNCIL REPORT report made.							
44 45	10/1	report made.							
4)									

<u>CONSIDER APPROVAL OF WEEKLY EXPENDITURES > \$1,000 PAID AUGUST 31,</u> <u>SEPTEMBER 2 (JUNE INVOICES) & SEPTEMEBER 7, 2015</u>

3 Mayor Lewis presented the weekly expenditure summary paid on August 31 for \$145,645.34,

4 September 2 for \$6,023.05, and September 7 for \$720,291.16. Councilwoman Harris and

5 Councilman Higginson both asked about invoices within the reports, and staff responded.

6 Councilman Higginson moved to approve the expenditures as presented, and Councilwoman

7 Holbrook seconded the motion. Voting was unanimous with Councilpersons Harris, Higginson,

- 8 Holbrook, Knight and Pitt voting "aye".
- 9 10

REPORT ON SUMMER CONCERTS – MR. RICHARD WATSON

Mr. Watson reported that the summer concerts were great events in the community and more cities are requesting these types of venues now because of Bountiful's great turnout and response from the citizens. He thanked all the City officials, staff and committee members that made it possible. The Bar J Wranglers Christmas concert is scheduled for December 4, 2015, with some of those proceeds funding next year's summer concerts. Volunteers are always needed. Councilman Pitt asked if there is a possibility of combining the concerts and food truck league next year. Mr. Watson said there is a possibility and it will be discussed in the coming months.

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19 CONSIDER APPROVAL OF THE PURCHASE OF A 2015 FORD F150 4X4 TRUCK FROM 20 YOUNG FORD IN THE AMOUNT OF \$29,329 FOR THE GOLF COURSE – MR. BROCK 21 <u>HILL</u>

22 Mr. Hill stated that the golf course currently has two work trucks: one is for maintenance and 23 the other for the superintendent's use. The maintenance truck was purchased in 1989 and is not 24 useful for the golf course anymore. It will be repaired to an "as is" state and sold on the government 25 surplus website. The other truck will be turned into the maintenance truck and this new truck 26 purchase will be the superintendent's vehicle. Four bids were received, with Young Ford being the 27 lowest. Councilman Knight asked if Performance Ford can bid for state contract items and do they 28 know the competitors/state prices. Mr. Hill responded that they are not on the state bid contract and 29 all are independent bids. Councilwoman Harris made a motion to approve the purchase, and 30 Councilman Higginson seconded the motion. Voting was unanimous with Councilpersons Harris, 31 Higginson, Holbrook, Knight and Pitt voting "ave".

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33 <u>CONSIDER FINAL SITE PLAN APPROVAL FOR A 130 UNIT ASSISTED</u> 34 <u>LIVING/MEMORY CARE FACILITY LOCATED AT APPROXIMATELY 430 WEST 400</u> 35 <u>NORTH, CRAIG SMITH, APPLICANT – MR. CHAD WILKINSON</u>

Mr. Wilkinson stated that the final site plan will only include 130 units, not 131 as printed.
 The preliminary plans were approved in February 2015; the Planning Commission reviewed them on
 May 5, 2015 with the following conditions:

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- 1. The following shall be completed prior to obtaining a building permit:
 - a. Complete any and all redline corrections.
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 43
 43
 b. Complete any and all conditions required by the Planning Commission for final approval
- 44

Those conditions have been met, with only a few redlines remaining and those are reflected in the approval. Councilwoman Holbrook asked about the parking ratio and the traffic study that was

- 1 conducted. Mr. Wilkinson answered it is a 0.5% parking ratio. Mr. Rowland responded that there
- 2 will be very little impact to the surrounding streets, with only staff using the driveways during
- 3 business hours. The neighborhood also had concerns, with the school nearby and that pickup times
- 4 might interfere, but there was positive feedback overall. Mayor Lewis also added that most of the
- 5 traffic will be on Sundays, when families come to visit. Councilman Pitt made a motion to approve 6 the final site plans, and Councilman Higginson seconded the motion. Voting was unanimous with
- Councilpersons Harris, Higginson, Holbrook, Knight and Pitt voting "aye".
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9 <u>CONSIDER PRELIMINARY AND FINAL SITE PLANS FOR A DUPLEX AT 1290 NORTH</u> 10 <u>200 WEST, ROBERT GIBSON REPRESENTING ANDREA DAWN HANCOCK,</u> 11 APPLICANT – MR. CHAD WILKINSON

12 Mr. Wilkinson stated this is for the preliminary and final site plan. The Planning Commission 13 had one issue with the elevation drawings, and requested additional landscaping and more mature 14 trees to be on the side facing the school. The Planning Commission did recommend approval based 15 on the additional landscape work. Councilman Pitt asked if the Planning Commission saw the 16 revised drawings. Staff replied that tonight's version will be the final drawing. Councilwoman 17 Holbrook asked if they can include more mature trees to start with, so the growing season will not 18 affect the final look. Mr. Wilkinson responded that they are. Councilwoman Holbrook made a 19 motion to approve the preliminary and final site plans, and Councilman Higginson seconded the 20 motion. Voting was unanimous with Councilpersons Harris, Higginson, Holbrook, Knight and Pitt 21 voting "aye".

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23 <u>CONSIDER ADOPTION OF ORDINANCE 2015-16 AMENDING THE PROVISION OF</u> 24 <u>CHAPTER 6 AND CHAPTER 14 OF THE BOUNTIFUL CITY LAND USE ORDINANCE</u> 25 <u>RELATED TO ALLOWING TELECOMMUNICATIONS FACILITIES WITHIN</u> 26 <u>COMMERCIAL ZONES (PUBLIC HEARING HELD ON SEPTEMBER 8, 2015) – MR.</u> 27 CHAD WILKINSON

- Mr. Wilkinson stated the ordinance was reviewed in the last council meeting and only needs approval tonight. Councilman Knight moved to adopt Ordinance 2015-16, and Councilman Higginson seconded the motion. Voting was unanimous with Councilpersons Harris, Higginson, Holbrook, Knight and Pitt voting "aye".
- 31 32

33 CONSIDER GRANTING EYELANDS LLC A LICENSE TO OCCUPY CITY-OWNED 34 LAND AT 1500 SOUTH MAIN STREET – MR. RUSSELL MAHAN

Mr. Mahan stated that several weeks ago, the Council approved the site plans for Eyelands,
LLC. The City will retain ownership of a portion of the property, with Eyelands, LLC using a license
to include the City land. Councilwoman Harris moved to approve the license, and Councilman
Higginson seconded the motion. Voting was unanimous with Councilpersons Harris, Higginson,
Holbrook, Knight and Pitt voting "aye".

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41 <u>CONSIDER ADOPTING RESOLUTION 2015-11 AMENDING UTAH STATE</u> 42 <u>RETIREMENT PROVISIONS OF THE BOUNTIFUL PERSONNEL POLICIES &</u> 43 PROCEDURES MANUAL – MR. RUSSELL MAHAN

43 PROCEDURES MANUAL – MR. RUSSELL MAHAN

44 Mr. Mahan briefly reviewed the need for amending the current City policies and procedures to 45 align with requirements of Utah Retirement Systems. Councilman Higginson motioned for approval

46 of Resolution 2015-11 and Councilwoman Holbrook seconded the motion. Voting was unanimous

with Councilpersons Harris, Higginson, Holbrook, Knight and Pitt voting "aye." **CONSIDER APPROVAL OF RESOLUTION 2015-12 CANCELLING THE 2015** BOUNTIFUL CITY MUNICIPAL ELECTION AND DECLARING RICHARD HIGGINSON, BETH HOLBROOK AND JOHN MARC KNIGHT ELECTED - MR. RUSSELL MAHAN Mr. Mahan explained the results of the municipal election process. There were three council positions open and four people declared candidacy. The time to file has expired, as has the time for a write-in and one candidate has withdrawn. This leaves three positions with three candidates. Under the Utah State Code, there is now no need to hold an election. The City Council, may by resolution, cancel the election and declare the remaining three candidates elected. Councilwoman Harris moved to approve Resolution 2015-12, and Councilman Pitt seconded the motion. Councilman Higginson also added that the period had expired for write-in candidates as well, under state law. Mr. Mahan stated that the results will be posted on the City's website as well as the state election website. Voting was unanimous with Councilpersons Harris, Higginson, Holbrook, Knight and Pitt voting "aye". Mayor Lewis recognized Senator Ward in the audience. Councilman Higginson made a motion to close the regular session and adjourn. Councilwoman Holbrook seconded the motion. The regular meeting of City Council was adjourned at 7:45 p.m. Mayor, Randy Lewis City Recorder, Shawna Andrus

Subject: Expenditures for Invoices > \$1,000.00 paid September 14, 22 & 28, 2015
Author: Tyson Beck, Finance Director
Department: Finance
Date: October 6, 2015



Background

This report is prepared following the weekly accounts payable run. It includes payments for all expense invoices equaling or exceeding \$1,000.00. Payments affecting only revenue or balance sheet accounts are not included. Such payments include those to acquire additions to inventories, the remittance of payroll withholdings and taxes, and performance bond refunds. Expenses for salaries and wages and utility deposit and credit balance refunds are not included.

<u>Analysis</u>

Unless otherwise noted and approved in advance, all expenditures are included in the current budget. Answers to questions or further research can be provided upon request.

Department Review

This report was prepared and reviewed by the Finance Department.

Significant Impacts

None

Recommendation

Council should review and approve the attached expenditures.

Attachments

Weekly report of expenses/expenditures for invoices equaling or exceeding \$1,000.00 paid September 14, 22 & 28, 2015.

Expenditure Report for Invoices >\$1,000.00

Paid September 14, 2015

VENDOR	VENDOR NAME	DEPARTMENT	ACCOUNT		AMOUNT	CHECK NO	INVOICE	DESCRIPTION
6781	AUTOMATED BUSINESS	Administrative	45.474500	Machinery & Equipment	\$ 19,059.00	185318	474958B	RICOH COLOR COPIER/SCANNER/FAX
1596	CATE RENTAL & SALES	Streets	10.425000	Equip Supplies & Maint	1,014.89	185322	Z13523	POWER PUMP
1596	CATE RENTAL & SALES	Streets	10.425000	Equip Supplies & Maint	1,373.02	185322	Z13355	NEW SONICS FOR LAM DOWN MACHINE
2931	LES OLSON COMPANY	Engineering	10.425000	Equip Supplies & Maint	1,265.37	185343	EA607295	1 YR. #4 GMS
2931	LES OLSON COMPANY	Planning	10.425000	Equip Supplies & Maint	1,265.37	185343	EA607295	1 YR. #4 GMS
3773	ROSS EQUIPMENT CO INC	Streets	10.425000	Equip Supplies & Maint	1,189.44	185357	105856	SOUTH DAVIS METRO FIRE PARTS
3773	ROSS EQUIPMENT CO INC	Streets	10.425000	Equip Supplies & Maint	1,245.43	185357	105771	SDMF ENGINE #84
4025	STAKER & PARSON COMP	Streets	10.441200	Road Matl Patch/ Class C	2,691.04	185361	3871921	PATCHING
4025	STAKER & PARSON COMP	Streets	10.441200	Road Matl Patch/ Class C	2,903.56	185361	3871457	PATCHING
4025	STAKER & PARSON COMP	Streets	10.441200	Road Matl Patch/ Class C	4,340.16	185361	3871458	PATCHING
4025	STAKER & PARSON COMP	Streets	10.441200	Road Matl Patch/ Class C	7,075.20	185361	3869811	PATCHING
4025	STAKER & PARSON COMP	Storm Water	49.441200	Road Matl Patch/ Class C	7,394.20	185361	3873818	PATCHING
4281	TWIN D INC.	Storm Water	49.462400	Contract Equipment	1,456.28	185367	13668	STORM DRAIN VIDEO
4450	VERIZON WIRELESS	Police	10.428000	Telephone Expense	1,120.25	185371	9751115458	ACCT #0771440923-00001
4574	WHEELER MACHINERY CO	Streets	10.425000	Equip Supplies & Maint	2,337.57	185375	PS000259737	DOZER PARTS
4574	WHEELER MACHINERY CO	Streets	10.425000	Equip Supplies & Maint	4,241.72	185375	PS000261394	PARTS FOR LANDFILL DOZER
				TOTAL:	\$ 59,972.50			

Expenditure Report for Invoices >\$1,000.00 Paid September 22, 2015

VENDOR	VENDOR NAME	DEPARTMENT	ACCOUNT		AMOUNT	CHECK NO	INVOICE	DESCRIPTION
	ACE DISPOSAL INC	Recycling		Recycling Collectn Service	\$ 30,926.35	185416	08312015	AUGUST 2015 RECYCLING
	ALL STAR STRIPING	Streets		Operating Supplies	17,530.20	185419	3923	CROSS WALK, SCHOOL LATTER CROSS WALK
	ASPLUNDH TREE EXPERT	Light & Power		Distribution	5,140.40	185421	71J34315	TREE TRIMMING
	ASPLUNDH TREE EXPERT	Light & Power		Distribution	5,140.40	185421	71J34515	TREE TRIMMING
	ASPLUNDH TREE EXPERT	Light & Power		Distribution	5,140.40	185421	72X01115	TREE TRIMMING
	ASPLUNDH TREE EXPERT	Light & Power		Distribution	5,140.40	185421	72X01215	TREE TRIMMING
	ASPLUNDH TREE EXPERT	Light & Power		Distribution	5,140.40	185421	73T45715	TREE TRIMMING
	ASPLUNDH TREE EXPERT	Light & Power		Distribution	5,140.40	185421	73T45815	TREE TRIMMING
	ASPLUNDH TREE EXPERT	Light & Power		Distribution	5,140.40	185421	74K19915	TREE TRIMMING
	ASPLUNDH TREE EXPERT	Light & Power		Distribution	5,140.40	185421	74K20015	TREE TRIMMING
	ASPLUNDH TREE EXPERT	Light & Power		Distribution	5,140.40	185421	74X75915	TREE TRIMMING
6652	BALLINGHAM GOLF & TURF	Golf Course		Bldg & Grnd Suppl & Maint	2,591.48	185423	17245	UNIPAR SAND
1360	BIG-D CONSTRUCTION	Light & Power	53.472100	0	376,764.11	185429	43367	LIGHT & POWER OFFICE REMODEL-AUGUST 2015
1405	BOUNTIFUL CITY	Water		Street Opening Expense	2,276.75	185430	08312015	AUG 2015 PAVEMENT REPAIRS
1447	BP ENERGY COMPANY	Light & Power		Natural Gas	121,363.43	185432	1374478	ACCT #1706204 NATURAL GAS AUG 2015
1888	DAVIS COUNTY GOVERNMENT	Police		Animal Control Services	5,147.74	185446	72627	AUG 2015 ANIMAL CONTROL
1920	DELCO WESTERN	Golf Course	55.426000	Bldg & Grnd Suppl & Maint	1,006.00	185447	243302	30 HP EMERSON MOTOR REBUILD
1920	DELCO WESTERN	Golf Course		Bldg & Grnd Suppl & Maint	1,877.45	185447	243187	SLEEVE, BALDOR, CAPACITOR
5433	ELDER, TED	Treasury	10.425000	Equip Supplies & Maint	1,303.92	185454	09212015	OFFICE CHAIRS-TREASURY STAFF
2055	ELECTRICAL CONSULTANT	Light & Power	53.474780	CIP 08 Dist Sub SW Sub	12,049.50	185455	63026	SW SUBSTATION DESIGN
2350	GREEN SOURCE, L.L.C.	Golf Course	55.426000	Bldg & Grnd Suppl & Maint	1,030.00	185469	11517	UPTAKE IRON, VELISTA, AMMONION SULFATE
2350	GREEN SOURCE, L.L.C.	Golf Course	55.426000	Bldg & Grnd Suppl & Maint	1,251.00	185469	11388	HEADWAY
5633	GRIFFCO PARTNERS	Police	10.425430	Service & Parts	1,315.00	185470	204360	VEHICLE WRAP
2446	HD SUPPLY POWER SOLUTIONS	Light & Power	53.448632	Distribution	1,290.00	185474	2966494-00	6-2/0 STIRRUPS, MINI WEDGES
4939	HILL WEST, LLC.	Light & Power	53.472100	Buildings	1,210.00	185478	1834	ADD PERMIT FOR EMERGENCY GENERATOR
2719	JMR CONSTRUCTION INC	Storm Water	49.441250	Storm Drain Maintenance	10,090.51	185490	09082015	AUGUST 2015 CONCRETE REPAIRS
2719	JMR CONSTRUCTION INC	Streets	10.473400	Concrete Repairs	20,444.18	185490	09082015	AUGUST 2015 CONCRETE REPAIRS
4996	KEDDINGTON & CHRISTENSEN	Administrative	10.431100	Legal And Auditing Fees	4,063.27	185493	2067	AUDIT SERVICES FOR YEAR ENDING 06/30/2015
4996	KEDDINGTON & CHRISTENSEN	Light & Power	53.431100	Legal And Auditing Fees	5,490.68	185493	2067	AUDIT SERVICES FOR YEAR ENDING 06/30/2015
5334	KIMBALL ENGINEERING	Engineering	10.425000	Equip Supplies & Maint	1,798.39	185495	I-215-545-001	HEPWORTH 6 PLEX
3195	MOUNTAIN STATES SUPPLY	Parks	10.426000	Bldg & Grnd Suppl & Maint	1,107.07	185507	\$101538029.001	SUPER POLY LID, SUPER MOLDED SS SCREEN
3195	MOUNTAIN STATES SUPPLY	Water	51.448400	Dist Systm Repair & Maint	2,355.76	185507	S101545572.001	ADAPTERS,METERS,WRENCH
3271	NETWIZE	Information Systems	45.474500	Machinery & Equipment	3,300.00	185511	NW8308	VM BACKUP INSTALLATION/CONFIGURATION
3452	PERPETUAL STORAGE	Information Systems	10.429300	Computer Hardware	1,006.12	185516	102104	BACKUP MEDIA STORAGE
6148	PLANT, CHRISTENSEN	Liability Insurance	63.431000	Profess & Tech Services	1,962.50	185519	50032	LEGAL FEES
3572	PROFESSIONAL CLEANING	Police	10.426000	Bldg & Grnd Suppl & Maint	2,400.00	185520	2026	SEPTEMBER JANITORIAL SERVICES
3576	PROFORCE LAW ENFORCE	Police	10.445100	Public Safety Supplies	2,265.00	185521	246902	SMART CART 25FT TRAINING
3607	QUESTAR GAS	Light & Power	53.448611	Natural Gas	14,841.84	185524	09042015	ACCT #6056810000
3731	RMT EQUIPMENT	Golf Course	55.425000	Equip Supplies & Maint	1,281.58	185527	T20930	PARTS
3777	ROTATIONAL MOLDING	Sanitation	58.448010	Garbage Containers	12,150.00	185528	31990	GARBAGE CANS
3866	SCOTT MACHINERY COMP	Streets	45.474500	Machinery & Equipment	39,116.30	185531	103717	BOBCAT SKID LOADER
4025	STAKER & PARSON COMP	Streets	10.441200	Road Matl Patch/ Class C	1,058.64	185539	3874984	PATCHING
4025	STAKER & PARSON COMP	Storm Water	49.441200	Road Matl Patch/ Class C	9,130.44	185539	3876265	STORM WATER PATCHING
4229	TOM RANDALL DIST. CO	Golf Course	55.425000	Equip Supplies & Maint	2,720.17	185548	233330	FUEL
4229	TOM RANDALL DIST. CO	Streets		Equip Supplies & Maint	17,040.25	185548	234102	FUEL
	TURF EQUIPMENT CO	Golf Course	55.426000	Bldg & Grnd Suppl & Maint	1,160.50	185551	389380-00	RISER ASSEMBLY, TRUJECTORY
	VERIZON WIRELESS	Light & Power	53.448641	Communication Equipment	1,590.69	185559	9751498981	ACCT #371517689-00001
4574	WHEELER MACHINERY CO	Water	51.448000	Operating Supplies	1,146.00	185563	MS000004887	ASPHALT SAW BLADES
4574	WHEELER MACHINERY CO	Streets	10.425000	Equip Supplies & Maint	1,324.57	185563	PS000264132	50A ALTERNATOR, CORE DEPOSIT, PARTS
				TOTAL:	\$ 784,040.99			

Expenditure Report for Invoices >\$1,000.00 Paid September 28, 2015

VENDOR	VENDOR NAME	DEPARTMENT	ACCOUNT		AM	OUNT	CHECK NO	INVOICE	DESCRIPTION
1078	ALL STAR STRIPING	Streets	10.448000	Operating Supplies	\$ 12	2,842.02	185584	3966	ROAD STRIPING
1078	ALL STAR STRIPING	Streets	10.448000	Operating Supplies	13	3,828.17	185584	3945	ROAD STRIPING
1165	ANTIGUA GROUP, INC.	Golf Course	55.448240	Items Purchased - Resale	:	1,059.44	185588	4239379	MENS WEAR
1212	ASPLUNDH TREE EXPERT	Light & Power	53.448632	Distribution	!	5,140.40	185589	74Y23815	TREE TRIMMING
1212	ASPLUNDH TREE EXPERT	Light & Power	53.448632	Distribution	!	5,140.40	185589	74Y23915	TREE TRIMMING
1230	AUTOMATED ACCOUNTING	Light & Power	53.431000	Profess & Tech Services	:	1,687.50	185590	15242	FY2015 INVENTORY WORK
5499	BIG T RECREATION	Parks	45.473100	Improv Other Than Bldgs		7,791.11	185593	2289	CHEESE PARK IMPROVEMENTS-BENCH
5499	BIG T RECREATION	Redevelopment Agency	73.426100	Special Projects	-	7,791.11	185593	2288	RDA-MAIN STREET BENCH
1510	BUSHNELL OUTDOOR PRO	Golf Course	55.448240	Items Purchased - Resale	:	1,494.98	185599	916564	ACESSORIES
1609	CENTERVILLE REDEVELOPMENT	RAP Tax	83.475300	Interlocal Payment-Centerville	3	6,104.14	185604	09232015	SEPT 2015 RAP TAX
1767	CONTEMPORARY IMAGE	Light & Power	53.445202	Uniforms	:	1,212.00	185610	30860	FR SHIRTS
2164	FERGUSON ENTERPRISES	Water	51.448400	Dist Systm Repair & Maint	1	1,911.50	185623	965520	HYDRANT
2334	GRAINGER, INC	Water	51.448000	Operating Supplies	:	1,633.80	185628	9841238984	POWER HANDLE TAP MACHINE
2408	HANSON HOMES	Parks	45.473100	Improv Other Than Bldgs		6,500.00	185629	6174	CHEESE PARK IMPROVEMENTS
2537	HOSE & RUBBER SUPPLY	Streets	10.425000	Equip Supplies & Maint	:	1,861.65	185637	500814-001	HYDRAULIC FITTINGS AND HOSE
2607	INTERMOUNTAIN BOBCAT	Golf Course	55.425000	Equip Supplies & Maint	:	2,699.08	185639	S56533	REPLACE JOYSTICKS ON LOADER
5549	JRCA ARCHITECTS, INC	Light & Power	53.472100	Buildings	:	8,630.76	185647	14041-07	BUILDING REMODEL
6273	MASTER BRANDS, INC	Light & Power	53.445202	Uniforms	:	1,241.53	185659	50502A	FR DENIM PANTS
3195	MOUNTAIN STATES SUPPLY	Water	51.448400	Dist Systm Repair & Maint	:	1,923.90	185666	\$101557983.001	PARTS-INVENTORY
3402	PACIFICORP	Light & Power	53.448628	Pineview Hydro	:	1,649.39	185672	CR212004	2015 O & M COSTS
4016	SPRINT	Police	10.425200	Communication Equip Maint	:	1,296.64	185690	456251837-062	ACCT #456251837
4025	STAKER & PARSON COMP	Streets	10.441200	Road Matl Patch/ Class C	:	1,235.08	185691	3881008	PATCHING
4025	STAKER & PARSON COMP	Streets	10.441200	Road Matl Patch/ Class C	:	1,397.94	185691	3885747	PATCHING
4025	STAKER & PARSON COMP	Streets	10.441200	Road Matl Patch/ Class C	:	1,837.44	185691	3880561	PATCHING
4025	STAKER & PARSON COMP	Streets	10.441200	Road Matl Patch/ Class C	:	1,866.92	185691	3881960	PATCHING
4025	STAKER & PARSON COMP	Streets	10.441200	Road Matl Patch/ Class C	3	3,708.76	185691	3880191	PATCHING
4025	STAKER & PARSON COMP	Storm Water	49.441200	Road Matl Patch/ Class C		7,396.84	185691	3877414	PATCHING
4171	THATCHER COMPANY	Water	51.448000	Operating Supplies	:	2,319.97	185699	1371913	CHLORINE-WATER TREATMENT
4217	TITLEIST	Golf Course	55.448240	Items Purchased - Resale	:	1,344.56	185701	901318299	GOLF BALLS
4263	TROUB'S PRINTING	Treasury	10.429050	Util Billing Supplies	:	2,949.09	185703	M1330	UTILITIY BILLS
5000	U.S. BANK CORPORATE	Police	10.423000	Travel & Training	:	1,026.48	185705	09102015JP	TRAVEL, TRAINING, OFFICE SUPPLIES, PARKING
5000	U.S. BANK CORPORATE	Executive	10.421000	Books Subscr & Mmbrshp	:	1,140.00	185705	09102015GH	ICMA MEMBERSHIP, LUNCH, AIRFARE-NLC CONFERENCE
5000	U.S. BANK CORPORATE	Light & Power	53.423002	Travel Board Members	:	1,959.99	185705	09102015AJ	CAR WASH,LUNCH,UAMPS MEETING
5000	U.S. BANK CORPORATE	Legislative	10.423000	Travel & Training	1	3,939.40	185705	09102015GH	ICMA MEMBERSHIP, LUNCH, AIRFARE-NLC CONFERENCE
4341	UTAH ASSOCIATED MUNI	Light & Power	53.448621	Power Purch IPP	:	1,406.83	185707	08312015	SEPT 15 PAYMENT FOR AUG 15 POWER RESOURCES
4341	UTAH ASSOCIATED MUNI	Light & Power	53.445201	Safety Equipment	!	5,000.00	185707	08312015	SEPT 15 PAYMENT FOR AUG 15 POWER RESOURCES
4341	UTAH ASSOCIATED MUNI	Light & Power	53.448628	Pineview Hydro	!	5,534.58	185707	08312015	SEPT 15 PAYMENT FOR AUG 15 POWER RESOURCES
4341	UTAH ASSOCIATED MUNI	Light & Power	53.448622	Power Purch San Juan	16	7,143.09	185707	08312015	SEPT 15 PAYMENT FOR AUG 15 POWER RESOURCES
4341	UTAH ASSOCIATED MUNI	Light & Power	53.448620	Power Purch CRSP	249	9,038.58	185707	08312015	SEPT 15 PAYMENT FOR AUG 15 POWER RESOURCES
4341	UTAH ASSOCIATED MUNI	Light & Power	53.448626	Power Purch UAMPS (Pool, etc)		7,553.75	185707	08312015	SEPT 15 PAYMENT FOR AUG 15 POWER RESOURCES
4574	WHEELER MACHINERY CO	Streets	10.425000	Equip Supplies & Maint		1,745.77	185710	PS000266975	ECM TRUCK #2355
4574	WHEELER MACHINERY CO	Streets	10.425000	Equip Supplies & Maint	-	1,985.15	185710	SS000067039	BACKHOE REPAIRS
				TOTAL:	\$ 1,46	4,969.74			

Subject: Resolution Supporting the Issuance of Bonds by Davis School District **Author:** Gary Hill **Department:** Administration **Date:** 12/10/15



Background

Davis School District is the second largest school district in the State. In the past 14 years, the District has grown by more than 12,000 students. Many facilities are above capacity, and older buildings are in need of renovation and infrastructure improvements.

The Davis Board of Education is proposing \$298,000,000 General Obligation Bond to address these needs. The bond initiative will be before voters on November 3, 2015.

<u>Analysis</u>

The bond will pay for new construction as well as maintenance of existing schools. Of note to Bountiful, the bond would provide funding for the following:

- Addition to Mueller Park Jr. High
- Remodel of Viewmont High School
- New High School in Farmington to relieve pressure on Viewmont
- Woods Cross High Phase II

Additional funding will be used for roofs, boilers, power upgrades, water line replacements, parking lots, fire alarm upgrades, and other capital improvements. By law, bond funds cannot be used for salaries or supplies.

The estimated impact on a \$240,000 home is \$1-\$2 per year between 2017 and 2022.

Department Review

This report was written by the City Manager

Significant Impacts

There is no direct impact to the City. The School District would not be able to finance the improvements listed without issuing new bonds.

Recommendation

City Council should consider adopting Resolution 2015-13, supporting the Davis School District's bond initiative.

Attachment

Resolution 2015-13

BOUNTIFUL



City of Beautiful Homes and Gardens

MAYOR Randy C. Lewis CITY COUNCIL Kendalyn Harris Richard Higginson Beth Holbrook John Marc Knight John S. Pitt

CITY MANAGER Gary R. Hill

RESOLUTION NO. 2015-13

A RESOLUTION PROVIDING SUPPORT FOR A SPECIAL BOND ELECTION TO BE HELD ON NOVEMBER 3, 2015, FOR THE ISSUANCE OF \$298,000,000 GENERAL OBLIGATION BONDS TO FINANCE THE COSTS OF CONSTRUCTING AND FURNISHING PUBLIC SCHOOLS, ACQUIRING LAND, AND OTHER SCHOOL RELATED PROJECTS (THE "PROJECT").

WHEREAS, the Davis School District (the "District") needs to construct public schools, acquire land, and other school related capital projects (the "Project") and does not have on hand money to pay for all of the costs of the Project and has determined to defray the cost thereof through the issuance of up to \$298,000,000 of its General Obligation Bonds (the "Bonds"); and

WHEREAS, the District desires to submit a proposition concerning the issuance of the Bonds to the vote of the qualified electors of the District pursuant to the provisions of the Local Government Bonding Act, Title 11, Chapter 14, Utah Code Annotated 1953, as amended, and applicable provisions of the Utah Election Code, Title 20A, Utah Code Annotated 1953, as amended (collectively, the "Act");

WHEREAS, the City Council (the "Council") of Bountiful City, Utah (the "City") desires to provide support to (i) the Board of Education of the Davis School District (the "Board") in its endeavor to provide a quality educational environment for the students of the District, and (ii) the bond initiative asking voters to authorize up to \$298,000,000 General Obligation bonds for the Project;

NOW, THEREFORE, It Is Hereby Resolved by the City Council of Bountiful, Utah as follows:

<u>Support</u>. The Council supports the \$298,000,000 bond initiative proposed by the Board and for the sake of the students within the District sincerely hopes that such initiative passes.

PASSED AND APPROVED this October 13, 2015.

Randy C. Lewis, Mayor

Attest:

Shawna Andrus, City Recorder



Subject: Vehicle Purchase Author: Chief Ross Department: Police Department Date: October 13, 2015

Background

The following is a request to approve the purchase of four police vehicles. Funding for these vehicles has been approved in our FY 2016 budget.

Analysis

The vehicles to be purchased are three 2016 Dodge Chargers which will be assigned to the patrol division and one 2015 Ford Edge which will be assigned to the detective division. The Chargers are police package equipped and will be purchased from Salt Lake Valley Dodge utilizing state bid contract pricing. The cost is \$27,337 each for a total of \$82,011 which is within the amount budgeted. The Edge will be purchased from Performance Ford utilizing state bid contract pricing for \$26,445 which is within the amount budgeted.

The following vehicles will be replaced and sold later this fiscal year;

2008 Dodge Charger with approximately 112,000 miles

2008 Dodge Charger with approximately 95,000 miles

2010 Dodge Charger with approximately 102,000 miles

We would like to donate a 2006 Jeep Liberty with approximately 95,000 miles and an estimated value of \$3,500 to Safe Harbor so they can transport victims of sexual assault and domestic violence to court, counseling, day care, school, jobs, etc. Oftentimes employees and/or volunteers transport victims in their personal vehicles due to there being no other option.

Department Review

The Police Department and City Manager have reviewed this staff report.

Significant Impacts

Sufficient funds are currently budgeted.

Recommendation

I respectfully request your approval to purchase three Dodge Chargers and one Ford Edge for a total of \$108,456. Thank you for your time and consideration in this matter.

Attachments

N/A



Subject:	Ordinance 2015-17/ Temporary Business License Fee
Applicant:	Bountiful City
Department:	Planning and Zoning
Author:	Chad Wilkinson, Planning Director
Date:	October 13, 2015

Background

The purpose of the Ordinance 2015-17 is to correct an inconsistency between Council approved rates for Temporary Business Licenses and the rates listed in the City Code. Bountiful City Code Section 5-1-105 (b) states that license fees are set by resolution of the City Council. The City Council in a previous budget resolution increased the fee for Temporary Business License from \$20.00 to \$25.00 plus \$1.00 per day up to a maximum of \$125.00.

Since the Council adopts fees each year by resolution, the City Code should be amended to read:

5-12-102. License Fee.

A base fee of \$20.00 plus \$1.00 per day up to a maximum of \$100.00 total fee as adopted by resolution of the City Council will be required for any temporary license.

Department Review

This item has been reviewed by the City Planner and City Manager.

Recommendation

Staff recommends the City Council approve the proposed ordinance correction to the Temporary License Fee rate included in Section 5-12-102.

Attachment

Bountiful City Ordinance 2015-17

BOUNTIFUL



City of Beautiful Homes and Gardens

MAYOR Randy C. Lewis CITY COUNCIL Kendalyn Harris Richard Higginson Beth Holbrook John Marc Knight John S. Pitt

CITY MANAGER Gary R. Hill

Bountiful City Ordinance No. 2015-17

An ordinance amending the Bountiful City Code Related to Temporary Business License Fees

It is the finding of the Bountiful City Council that:

1. The Bountiful City Council is empowered to adopt and amend general laws pursuant to Utah State law (§10-9a-101 et seq) and under corresponding sections of the Bountiful City Code.

2. Fees are reviewed and approved each year by the City Council as part of their annual Budget review and adoption.

3. The Bountiful City Council considered the proposed amendment at a public meeting on October 13, 2015.

Be it ordained by the City Council of Bountiful, Utah:

<u>SECTION 1.</u> The Bountiful City Business Regulations Code (Title 5 of the Bountiful City Code) is hereby amended to add the following:

5-12-102. License Fee.

A base fee of \$20.00 plus \$1.00 per day up to a maximum of \$100.00 total fee as adopted by resolution of the City Council will be required for any temporary license.

SECTION 2. City ordinances in conflict with these provisions are hereby repealed. However, all provisions in force immediately prior to this ordinance shall continue in force hereafter for the purpose of any pending legal action, all rights acquired, and any liabilities already incurred.

<u>SECTION 3.</u> If any portion of this Ordinance is declared illegal or unconstitutional, the remainder shall remain in full force and effect.

<u>SECTION 4.</u> This ordinance shall take effect immediately upon first publication.

Adopted by the City Council of Bountiful, Utah, this 13th day of October, 2015.

Randy C. Lewis, Mayor

ATTEST:

Shawna Andrus, City Recorder

Subject: Preliminary and final site plan review for a drive through beverage restaurant
Address: 2223 S. Main
Author: Chad Wilkinson, Planning Director
Department: Planning and Engineering
Date: October 13, 2015



Background

The applicant, Matt Perry, is requesting preliminary and final site plan approval to construct a drive-through beverage sales use on the north side of the existing Slim Olsen property at 2223 S. Main in the Heavy Commercial (C-H) zoning district. Fast food restaurants with drive-up windows are classified as a permitted use in the C-H zone.

<u>Analysis</u>

The subject property is currently an undeveloped portion of the Slim Olsen property and has been used for years as a location for temporary sales of flowers, fireworks and other restaurant type uses. The applicant proposes to construct a permanent structure that will be used for beverage sales along with a small outdoor seating area. The proposed building will be approximately 900 square feet and will be located in an existing paved area of the site. Some small modifications to the existing landscape area are proposed, however the minimum 10 foot width of landscape area will be maintained. The remainder of the perimeter landscaping will remain unchanged. Interior landscaping will be provided to the north and south of the proposed building. The interior landscaping on the north side of the building will consist of a mix of ornamental grasses or some similar type planting to provide screening for the seating area. On the south side of the building a flower bed will be located with annual and perennial flower plantings. Water and sewer service will be provided to the site from laterals connecting to existing lines in 500 West.

The predominant issue related to the proposed site plan relates to parking and access. The use will be accessed by the existing driveway running between Main Street and 500 West. This driveway is currently used as an informal cut through from Main Street to 500 West and may create some conflicts with the new use. The parking for employees is proposed to the south of the driveway. These spaces will need to be restriped in conjunction with the new building. The use is predominantly drive-through with no indoor seating area for customers. Normally, only employee parking spaces would be required in this circumstance. However the applicant has indicated that an outdoor seating area will be available and therefore it is desirable to provide customer parking. The customer spaces will need to be provided if the use is to include an outdoor seating area. Those spaces should either be striped near the employee spaces, or in an alternate approved location.

Department Review

The application has been reviewed by the City Planner and City Engineer.

Significant Impacts

The site has been used for a number of temporary uses over the years and is in an area with utilities available.

Recommendation

The Planning Commission reviewed the request on October 6, 2015 and forward a recommendation of approval to the City Council for the preliminary and final site plan subject to the following conditions:

- 1. Complete any and all redline corrections.
- 2. Prior to final approval, submit a revised final landscape plan consistent with the amended plan and meeting the requirements of Chapter 16 of the Bountiful City Zoning Ordinance. Landscaping shall be installed as approved prior to occupancy.
- 3. Prior to occupancy, restripe employee and customer parking spaces located south of the existing driveway, or provide customer and employee parking in an alternate approved location.

Attachments

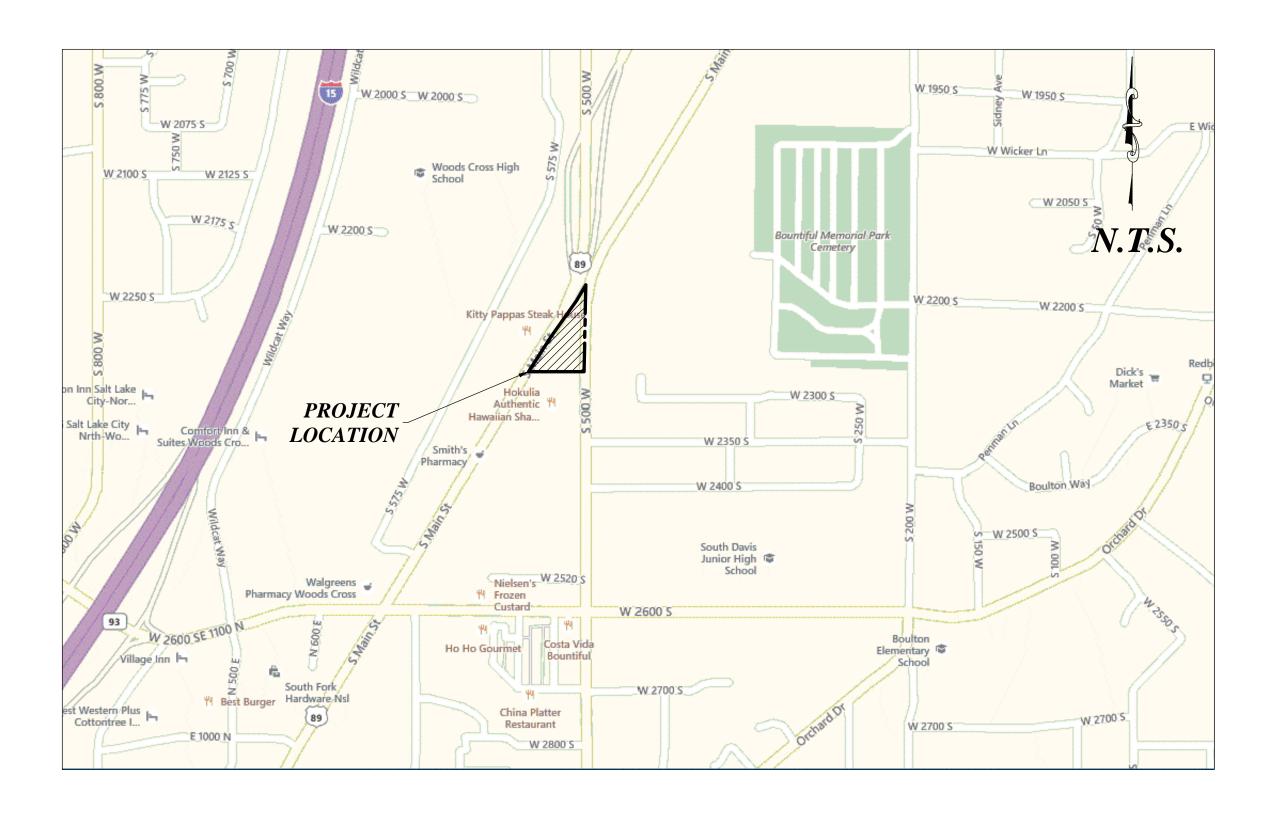
- 1. Aerial photo
- 2. Site plan
- 3. Floor plan and elevations

G:\ENG\Site Plans\2223 S Main Street Sips\CC Staff Report Sips 2223 S Main.docx

Aerial Photo







<i>C-00</i>
<i>C-01</i>
<i>C-02</i>
<i>C-03</i>
<i>C-04</i>
<i>C-05</i>
<i>C-06</i>
<i>C-07</i>
<i>C-08</i>
TOTAL SHEETS





MATT PERRY - SIPS DRIVE THRU

2305 SOUTH HIGHWAY 89 SLIM OLSEN'S SERVICE STATION LOCATED IN THE NORTH EAST 1/4 OF SECTION 36, T.2N., R.1W., S.L.B.&M. BOUNTIFUL CITY, DAVIS COUNTY, UTAH

VICINITY MAP

DRAWING INDEX

COVER
NOTES AND LEGEND
DETAILS
TOPOGRAPHIC PLAN
DEMOLITION PLAN
SITE PLAN
GRADING PLAN
UTILITY PLAN
EROSION CONTROL PLAN
9

C-00 SHEET NAME COVER PROJECT 1137001 DWG: 1137001-MAIN CONST S

GENERAL NOTES

1) ALL WORK WITHIN A PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE RIGHT-OF-WAY OWNER'S STANDARDS & SPECIFICATIONS.

2) ALL UTILITY WORK SHALL CONFORM TO THE UTILITY OWNER'S STANDARDS & SPECIFICATIONS.

3) THESE PLANS DO NOT INCLUDE DESIGN OF DRY UTILITIES. THESE PLANS MAY CALL FOR RELOCATION, AND/OR REMOVAL AND/OR CONSTRUCTION OF DRY UTILITIES, BUT ARE NOT OFFICIAL DRAWINGS FOR SUCH. DESIGN AND COORDINATION OF DRY UTILITIES IS BY OTHERS.

4) THE CONTRACTOR SHALL COORDINATE AND OBTAIN ANY PERMITS REQUIRED FOR THE WORK SHOWN HEREON.

5) THE LOCATION AND ELEVATIONS OF UNDERGROUND UTILITIES SHOWN ON THESE PLANS IS A BEST ESTIMATE BASED ON UTILITY COMPANY RECORDS, BLUESTAKES, AND FIELD MEASUREMENTS OF READILY OBSERVABLE ABOVE-GROUND FEATURES. AS SUCH. THIS INFORMATION MAY NOT BE COMPLETE. UP-TO-DATE. OR ACCURATE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO STOP WORK AND NOTIFY THE ENGINEER IF CONFLICTING INFORMATION IS FOUND IN THE FIELD.

6) THE CONTRACTOR IS TO FIELD VERIFY THE LOCATION AND ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES PRIOR TO STAKING AND CONSTRUCTION.

7) CALL BLUESTAKES AT LEAST 48 HOURS PRIOR TO DIGGING. DO NOT PROCEED UNTIL BLUESTAKES ARE MARKED.

8) IT SHALL BE THE CONTRACTOR'S AND SUBCONTRACTOR'S RESPONSIBILITY TO MEET ALL APPLICABLE HEALTH AND SAFETY REGULATIONS, AND SHALL ASSUME SOLE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING CONSTRUCTION OF THIS PROJECT, SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK, AND THE PUBLIC IS PROTECTED.

	DRAWN	BY: BC	DATE 09/15/2015					
	APPROVED: STA DATE 09/15/2015							
	REV.	BY	DATE					
SE	SET 15SEP15.dwg							



181 North 200 West, Suite #4 Bountiful, Utah 84010 Phone 801-298-2236 Fax 801-298-5983

GENERAL NOTES

- ALL IMPROVEMENTS SHALL COMPLY WITH THE STANDARDS AND REGULATIONS OF THE LOCAL 1. GOVERNING MUNICIPALITY. CONTACT THE PUBLIC WORKS OFFICE BEFORE BEGINNING.
- CONTRACTOR TO FIELD VERIFY LOCATION, SIZE, AND AVAILABILITY OF EXISTING UTILITIES. UTILITIES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE. SEE UTILITY NOTE 3.
- ALL DIMENSIONS ARE IN FOOT UNITS AND ARE TO THE TOP BACK OF CURB UNLESS SHOWN OR NOTED OTHERWISE.
- PROVIDE HANDICAP RAMPS AT ENDS OF WALKWAYS. END 0.1' ABOVE FLOWLINE OF CURB.
- CURB AND GUTTER SHALL BE AS PER APWA STD DWG NO 205 TYPE A.
- UTILITY INFORMATION INDICATED ON DRAWING IS BASED UPON VISUAL OBSERVATION OR INFORMATION FURNISHED BY MUNICIPAL AUTHORITIES WHICH MAY NOT BE VALID. LATERAL LOCATIONS AND ELEVATIONS ARE ASSUMED. SEE UTILITY NOTE 3.
- ALL GRADING SHALL BE DONE UNDER THE SUPERVISION OF A QUALIFIED SOILS ENGINEER WHO SHALL VERIFY THAT ALL FILL HAS BEEN PLACED IN ACCORDANCE WITH PROVISIONS IN CURRENT INTERNATIONAL BUILDING CODE.
- COMPACTION TEST REPORTS SHALL BE MADE AVAILABLE TO THE ENGINEER WITHIN 24 HOURS OF A REQUEST. FINAL REPORTS AS SPECIFIED IN CURRENT INTERNATIONAL BUILDING CODE SHALL BE SUBMITTED TO THE ENGINEER WITHIN TEN DAYS AFTER COMPLETION OF GRADING.
- ALL STORM DRAIN PIPE SHALL BE INSTALLED ACCORDING TO THE MANUFACTURES RECOMMENDATIONS AND THE LOCAL GOVERNING MUNICIPALITY'S STANDARDS AND SPECIFICATIONS.
- 0. STORM DRAIN PIPE OPTIONS SHALL CONSIST IF THE FOLLOWING MATERIALS. 1. PVC PIPE, ASTM D3034, SDR 35, BELL & SPIGOT TYPE. 2. RCP PIPE, ASTM C507, BELL & SPIGOT TYPE. 3. HIGH DENSITY CORRUGATED POLYETHYLENE SMOOTH
 - INTERIOR PIPE, ASTM D3350 WITH WATERTIGHT JOINTS.
- . THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CHECK CONDITIONS AT THE SITE BEFORE STARTING WORK AND SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- TYPICAL DETAILS SHALL APPLY IN GENERAL CONSTRUCTION UNLESS SPECIFICALLY DETAILED WHERE NO DETAILS ARE GIVEN, CONSTRUCTION WILL BE AS FOR SIMILAR WORK. DO NOT SCALE DRAWINGS.
- ANY OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH ANY WORK INVOLVED.
- PIPE BEDDING SHALL BE 3/8" MAXIMUM AGGREGATE. USE 3/4" MAXIMUM SIZE ROAD BASE FOR BACKFILL MATERIAL. COMPACT TO 95% STANDARD PROCTOR DENSITY. MAXIMUM LIFT 8 INCHES.
- 5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PUBLIC AND OSHA STANDARDS
- . ALL WORK SHALL COMPLY WITH THE AMERICAN PUBLIC WORKS ASSOCIATION UTAH CHAPTER | 14. WATER SERVICE LATERALS TO INCLUDE ALL BRASS SADDLE; CORP. (APWA) MANUAL OF STANDARD SPECIFICATIONS 2007 EDITION WITH ALL PERTINENT SUPPLEMENTS AND AMENDMENTS AND THE MANUAL OF STANDARD PLANS 2007 EDITION. SAID STANDARD SPECIFICATIONS AND PLANS SHALL BE THE REQUIREMENTS.
- IT IS INTENDED THAT THESE PLANS AND SPECIFICATIONS REQUIRE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THE WORK TO BE COMPLETED IN ACCORDANCE WITH THEIR TRUE INTENT AND PURPOSE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY REGARDING ANY DISCREPANCIES OR AMBIGUITIES WHICH EXIST IN THE PLANS OR SPECIFICATIONS. THE ENGINEER'S INTERPRETATION THEREOF SHALL BE CONCLUSIVE. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORITY FROM THE OWNER AND/OR ENGINEER.
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT. ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S STANDARD SPECIFICATIONS. ALL TESTING AND INSPECTION SHALL BE PAID FOR BY THE OWNER; ALL RE-TESTING AND/OR REINSPECTION SHALL BE PAID FOR BY THE CONTRACTOR.
- THE CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZE AS-BUILT RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL MECHANICAL; ELECTRICAL AND INSTRUMENTATION EQUIPMENT; PIPING AND CONDUITS; STRUCTURES AND OTHER FACILITIES. THE AS-BUILTS OF THE ELECTRICAL SYSTEM SHALL INCLUDE THE STREET LIGHT LAYOUT PLAN SHOWING LOCATION OF LIGHTS, CONDUITS, CONDUCTORS, POINTS OF CONNECTIONS TO SERVICES, PULLBOXES, AND WIRE SIZES. AS-BUILT RECORD DRAWINGS SHALL REFLECT CHANGE ORDERS, ACCOMMODATIONS, AND ADJUSTMENTS TO ALL IMPROVEMENTS CONSTRUCTED. WHERE NECESSARY, SUPPLEMENTAL DRAWINGS SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR.
- PRIOR TO ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL DELIVER TO ENGINEER, ONE SET OF NEATLY MARKED AS-BUILT RECORD DRAWINGS SHOWING THE INFORMATION REQUIRED ABOVE. AS-BUILT RECORD DRAWINGS SHALL BE REVIEWED AND THE COMPLETE AS-BUILT RECORD DRAWING SET SHALL BE CURRENT WITH ALL CHANGES AND DEVIATIONS REDLINED AS A PRECONDITION TO THE FINAL PROGRESS PAYMENT APPROVAL AND/OR FINAL ACCEPTANCE.

SEQUENCE OF CONSTRUCTION

- CONSTRUCTION EXIT IS TO BE CONSTRUCTED AT TIME OF ENTRY TO SITE.
- CLEAR AND GRUB AREAS FOR SEDIMENT MEASURES.
- INSTALL SILT FENCES.
- COMPLETE CLEARING OF SITE AND BEGIN ROUGH GRADING.
- FILL AREAS SHALL BE FILLED IN 12 INCH MAXIMUM LIFTS AND COMPACTED TO AT LEAST 95% MAXIMUM DENSITY.
- DRAINAGE WILL BE CONTROLLED AND GROUND SLOPED SO AS TO DIRECT RUNOFF TO SEDIMENT CONTROLLED INLETS.
- INSTALL REMAINDER OF STORM DRAIN.
- INSTALL UTILITY LINES, WATER, ETC.
- INSTALL CURBS, WALKS, ETC., AND STABILIZE ALL DISTURBED AREAS.
- 0. INSTALL BASE COURSE.
- REMOVE SEDIMENT CONTROL MEASURES, CLEAN OUT TEMPORARY SEDIMENTATION BASINS AND REGRADE, CLEAN OUT SEDIMENT TRAPS AND CONVERT THEM TO STORM WATER MANAGEMENT STRUCTURES.
- 2. PAVE SITE.
- OWNER TO BE RESPONSIBLE TO CHECK CLEAN OUT INLET BOXES FOR SEDIMENT AND OIL AND CLEAN AS NECESSARY

UTILITY NOTES

ALL SERVICE LATERALS SHALL BE EXTENDED 2 FEET PAST THE 10 FOOT P.U.E.

2. ALL CONSTRUCTION SHALL COMPLY WITH LOCAL GOVERNING MUNICIPALITY DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS

LOCATIONS OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE LOCATIONS. CONTRACTOR IS TO FIELD VERIFY CONNECTION POINTS WITH EXISTING UTILITIES, INCLUDING LOCATIONS AND INVERT ELEVATIONS OF ALL EXISTING STRUCTURES OR PIPES, BEFORE STAKING OR CONSTRUCTING ANY NEW UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO EXISTING UTILITIES AND UTILITY STRUCTURE THAT ARE TO REMAIN.

. CONTRACTOR IS RESPONSIBLE TO EXPOSE ALL UTILITY SERVICES STUBBED INTO PROJECT PROPERTY AND GIVE HILL & ARGYLE, INC. 48 HOURS PRIOR NOTICE SO HILL & ARGYLE CAN VERIFY DEPTHS AND INVERT ELEVATIONS TO DETERMINE IF CONFLICTS EXIST. ALSO ANY EXISTING UTILITIES THAT RUN ACROSS PROJECT PROPERTY WHICH MAY CAUSE POTENTIAL CONFLICT NEED TO BE EXPOSED AND LOCATED BOTH HORIZONTALLY AND VERTICALLY. CONTRACTOR PROCEEDS AT OWN RISK IF HILL & ARGYLE IS NOT NOTIFIED TO FIELD VERIFY THE ABOVE MENTIONED CONDITIONS.

5. CONTRACTOR IS TO COORDINATE ALL UTILITIES WITH MECHANICAL DRAWINGS WHERE APPLICABLE.

6. NO GROUNDWATER OR DEBRIS TO BE ALLOWED TO ENTER THE NEW PIPE DURING CONSTRUCTION. THE OPEN END OF ALL PIPES IS TO BE COVERED AND EFFECTIVELY SEALED AT THE END OF EACH DAYS WORK.

. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSTALL PIPE OF ADEQUATE CLASSIFICATION WITH SUFFICIENT BEDDING TO MEET ALL **REQUIREMENTS AND RECOMMENDATIONS FOR H-20 LOAD REQUIREMENTS.**

8. ALL NEW SANITARY SEWER CONSTRUCTION TO BE DONE IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS & SPECIFICATIONS.

9. ALL SEWER LINES AND LATERALS ARE TO BE SDR 35 PVC PIPE.

10. SEWER LATERALS WILL BE INSTALLED AT A UNIFORM SLOPE OF NOT LESS THAN 2% GRADE AND THEY SHALL HAVE A MINIMUM OF 4 FEET OF COVER. UNLESS **OTHERWISE NOTED.**

11. ALL NEW CULINARY AND IRRIGATION WATER CONSTRUCTION TO BE DONE IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS & SPECIFICATIONS.

- 12. WATER LINES TO BE PVC C-900. WATER LINES SHALL BE A MINIMUM OF 10' HORIZONTALLY FROM SEWER MAINS. CROSSINGS SHALL MEET STATE HEALTH STANDARDS. (MECHANICAL JOINTS REQUIRED WHEN LESS THAN 18" VERTICAL OR 10' HORIZONTAL SEPARATION FROM SEWER LINES.)
- 13. ALL WATER LINES SHALL BE 8" MINIMUM SIZE AND SERVICE LATERALS SHALL BE 1-1/2" MINIMUM UNLESS OTHERWISE NOTED.
- STOP LATERAL, DOUBLE CHECK VALVE AND BACKFLOW PREVENTION DEVICE, AND SHUTOFF VALVE IN BOX NEAR BUILDING EDGE.
- 15. ALL WATER LINES SHALL BE A MINIMUM 48" BELOW FINISH GROUND TO TOP OF PIPE. ALL VALVE BOXES AND MANHOLES SHALL BE RAISED OR LOWERED TO FINISH GRADE AND SHALL INCLUDE A CONCRETE COLLAR IN PAVED AREAS.
- 16. CONTRACTOR TO NOTIFY PUBLIC UTILITIES FOR CHLORINE TEST PRIOR TO FLUSHING LINES. CHLORINE LEFT IN PIPE 24 HOURS MINIMUM WITH 25 PPM RESIDUAL. ALL TURNING OF MAINLINE VALVES, CHLORINATION, FLUSHING, PRESSURE TESTING, BACTERIA TESTING, ETC. TO BE COORDINATED WITH LOCAL GOVERNING MUNICIPALITY. ALL TESTS TO BE IN ACCORDANCE WITH AWWA STANDARDS.
- BOTTOM FLANGE OF FIRE HYDRANTS TO BE SET TO APPROXIMATELY 4" INCHES ABOVE BACK OF CURB ELEVATION. HYDRANTS TO INCLUDE TEE. 6" LINE VALVE, AND HYDRANT COMPLETE TO MEET CITY STANDARDS.
- ALL NEW STORM DRAIN/LAND DRAIN CONSTRUCTION TO BE DONE IN 18. ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS & SPECIFICATIONS.
- ALL STORM WATER CONVEYANCE PIPING TO BE RCP CLASS 3 OR 19. EQUAL, UNLESS OTHERWISE NOTED.

20. CONTRACTOR IS TO SUBMIT SITE PLAN/SUBDIVISION PLAT TO QUESTAR GAS FOR DESIGN OF GAS SERVICE TO BUILDINGS/LOTS. CONTRACTOR TO COORDINATE WITH QUESTAR GAS FOR CONTRACTOR LIMITS OF WORK VERSUS QUESTAR GAS LIMITS.

- 21. ALL GAS LINE TAPS TO BE HDPE WITH COPPER TRACER WIRE AND DETECTA TAPE. TERMINATE TRACER WIRE AT APPROVED LOCATIONS.
- 22. ALL GAS LINE TAPS, VALVES AND CAPS TO BE FUSED USING ELECTRO-FUSION TECHNOLOGY.
- 23. ALL ELECTRICAL CONDUITS/LINES TO BE PVC SCH 40 OR BETTER.
- 24. ALL PHONE AND TV CONDUITS TO BE PVC SCH 40 OR BETTER.

25. CONTRACTOR IS TO SUBMIT SITE PLAN/SUBDIVISION PLAT TO COMCAST FOR DESIGN OF CABLE TV SERVICE TO BUILDINGS/LOTS. CONTRACTOR TO COORDINATE WITH COMCAST FOR CONTRACTOR LIMITS OF WORK VERSES COMCAST LIMITS.

26. CONTRACTOR IS TO COORDINATE LOCATIONS OF NEW TELEPHONE SERVICE TO NEW BUILDINGS OR LOTS WITH QWEST. A PVC CONDUIT, PLYWOOD BACKBOARD, AND GROUND WIRE IS REQUIRED FOR SERVICE THROUGH PROPERTY. COORDINATE SIZES AND LOCATION WITH QWEST.

27. ALL UTILITIES ARE TO BE INSTALLED IN ACCORDANCE WITH THE CORRESPONDING AGENCY/DISTRICT STANDARDS AND SPECIFICATIONS: WATER - SOUTH DAVIS WATER DISTRICT

- SEWER SOUTH DAVIS SEWER DISTRICT
- STORM DRAIN/GROUNDWATER BOUNTIFUL CITY PUBLIC WORKS IRRIGATION
- ELECTRICAL ROCKY MOUNTAIN POWER **TELEPHONE - QWEST**
- NATURAL GAS QUESTAR

GRADING NOTES

SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING IT WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM TEST D-1557 EXCEPT UNDER BUILDING FOUNDATION WHERE IT SHALL BE 95% MIN. OF MAXIMUM DENSITY. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED REGISTERED SOILS ENGINEER, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED, HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS. REPORT.

THE CONTRACTOR IS TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR CONSTRUCTION OF THE PROJECT. SPECIFIC DETAILS SHOWN SHALL BE USED IN COMBINATION WITH OTHER ACCEPTED LOCAL PRACTICES.

EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF CONTRACTOR'S FAILURE TO VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT.

- IF AT ANY TIME DURING CONSTRUCTION ANY UNFAVORABLE GEOLOGICAL CONDITIONS ARE ENCOUNTERED, WORK IN THAT AREA WILL STOP UNTIL APPROVED CORRECTIVE MEASURES ARE OBTAINED FROM THE ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING HIS OWN ESTIMATE OF EARTHWORK QUANTITIES.
- WHERE NEW CURB AND GUTTER IS BEING CONSTRUCTED ADJACENT TO EXISTING ASPHALT OF CONCRETE PAVEMENT, THE FOLLOWING SHALL APPLY: PRIOR TO PLACEMENT OF ANY CONCRETE THE CONTRACTOR SHALL HAVE A LICENSED SURVEYOR VERIFY THE GRADE AND CROSS SLOPE OF TH CURB AND GUTTER FORMS, THE CONTRACTOR SHALL SUBMIT THE SLOPE AND GRADES TO THE ENGINEER FOR APPROVAL PRIOR THE PLACEMENT OF CONCRETE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY SECTION WHICH DOES NOT CONFORM TO THE DESIGN OR TYPICAL CROSS SECTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CURB AND GUTTER POURS WITHOUT THE APPROVAL OF THE ENGINEER.

EROSION CONTROL

ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE STANDARDS AND REGULATIONS OF THE LOCAL GOVERNING MUNICIPALITY.

2. ALL SEDIMENT CONTROL MEASURES TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND CONSTRUCTED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON BALANCE OF SITE.

DAILY INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES MUST BE PROVIDED TO INSURE INTENDED PURPOSE IS ACCOMPLISHED. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SEDIMENT LEAVING THE PROPERTY. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.

ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS WILL BE PROTECTED TO PREVENT TRACKING OF MUD ONTO PUBLIC WAYS.

5. ALL SEDIMENT WILL BE PREVENTED FROM ENTERING ANY STORM DRAINAGE SYSTEM THROUGH THE USE OF SANDBAGS, STRAW BALES, SILT FENCES, GRAVEL, BOARDS, AND OTHER APPLICABLE METHODS.

6. ALL DISTURBED AREAS OUTSIDE OF ROADWAYS, PARKING LOTS, SIDEWALKS AND OR BUILDING FOOTPRINTS SHALL BE SEEDED, SODDED AND/OR MULCHED.

7. IF SITE IS READY TO RECEIVE FINAL COVER DURING THE NON-PLANTING SEASON, THEN IT SHALL BE PROTECTED BY MULCHING. THE MULCH WILL REMAIN UNTIL THE NEXT PLANTING SEASON AS DEFINED BY THE LOCAL GOVERNING MUNICIPALITY.

8. RE-VEGETATE ALL DENUDED AREAS AS PER THE STANDARDS AND REGULATIONS OF THE LOCAL GOVERNING MUNICIPALITY.

9. THE CONTRACTOR AGREES THAT:

THEY SHALL BE RESPONSIBLE TO CLEAN THE JOB SITE AT THE END OF EACH PHASE OF WORK.

B. THEY SHALL BE RESPONSIBLE TO REMOVE AND DISPOSE OF ALL TRASH, SCRAP AND UNUSED MATERIAL AT THEIR OWN EXPENSE IN A TIMELY MANNER.

C. THEY SHALL BE RESPONSIBLE TO MAINTAIN THE SITE IN A NEAT, SAFE AND ORDERLY MANNER AT ALL TIMES.

THEY SHALL BE RESPONSIBLE TO KEEP MATERIALS, EQUIPMENT, AND TRASH OUT OF THE WAY OF OTHER CONTRACTORS SO AS NOT TO DELAY THE JOB. FAILURE TO DO SO WILL RESULT IN A DEDUCTION FOR THE COST OF CLEAN UP FROM FINAL PAYMENT.

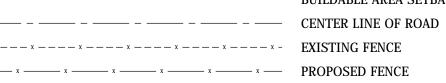
E. THEY SHALL BE RESPONSIBLE FOR THEIR OWN SAFETY, TRAFFIC CONTROL. PERMITS, RETESTING AND REINSPECTION AT THEIR OWN EXPENSE.

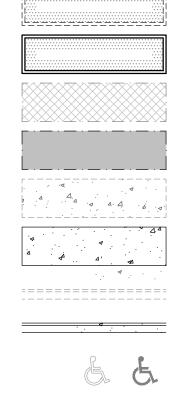
F. UNLESS OTHERWISE NOTED ALL EXCESS SOILS AND MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE LAWFULLY DISPOSED OF OFF SITE AT THE CONTRACTOR'S EXPENSE.

G. THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, BARRICADES, SIGNS, FLAG-MEN OR OTHER DEVICES NECESSARY FOR PUBLIC SAFETY.

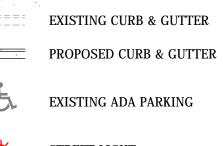
GRADE

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	EXISTING MINOR CONTOUR
4258	PROPOSED CONTOUR
	PROPOSED MINOR CONTOU
	LOT OR BOUNDARY LINE









₩	₩	STREET LIGHT	
Эр	ΟP	LIGHT POLE	

(-**PP** (-**PP** POWER POLE

(-TEL (-TEL TELEPHONE POLE

(-UP (-UP UTILITY POLE

STREET SIGN

LEGEND

SECTION CORNER

DOWNWARD GRADE

EXISTING SPOT ELEVATION

PUBLIC UTILITY EASEMENT

BUILDABLE AREA SETBACK

EXISTING BUILDING

PROPOSED BUILDING

EXISTING ASPHALT

PROPOSED ASPHALT

EXISTING CONCRETE

PROPOSED CONCRETE

MONUMENT

UGP _____ UGP ______ UGP _____ UGP _

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IT'S THE LAW TO CALL

W2 SECONDARY WATER

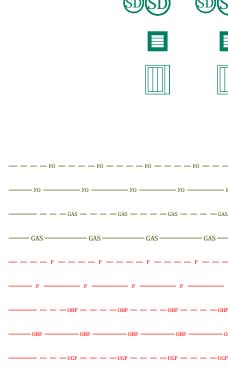
W WEST, WATER

WL WATERLINE

WM WATER METER

WP WORK POINT

_____ w _____ w _____ w _____ w _____



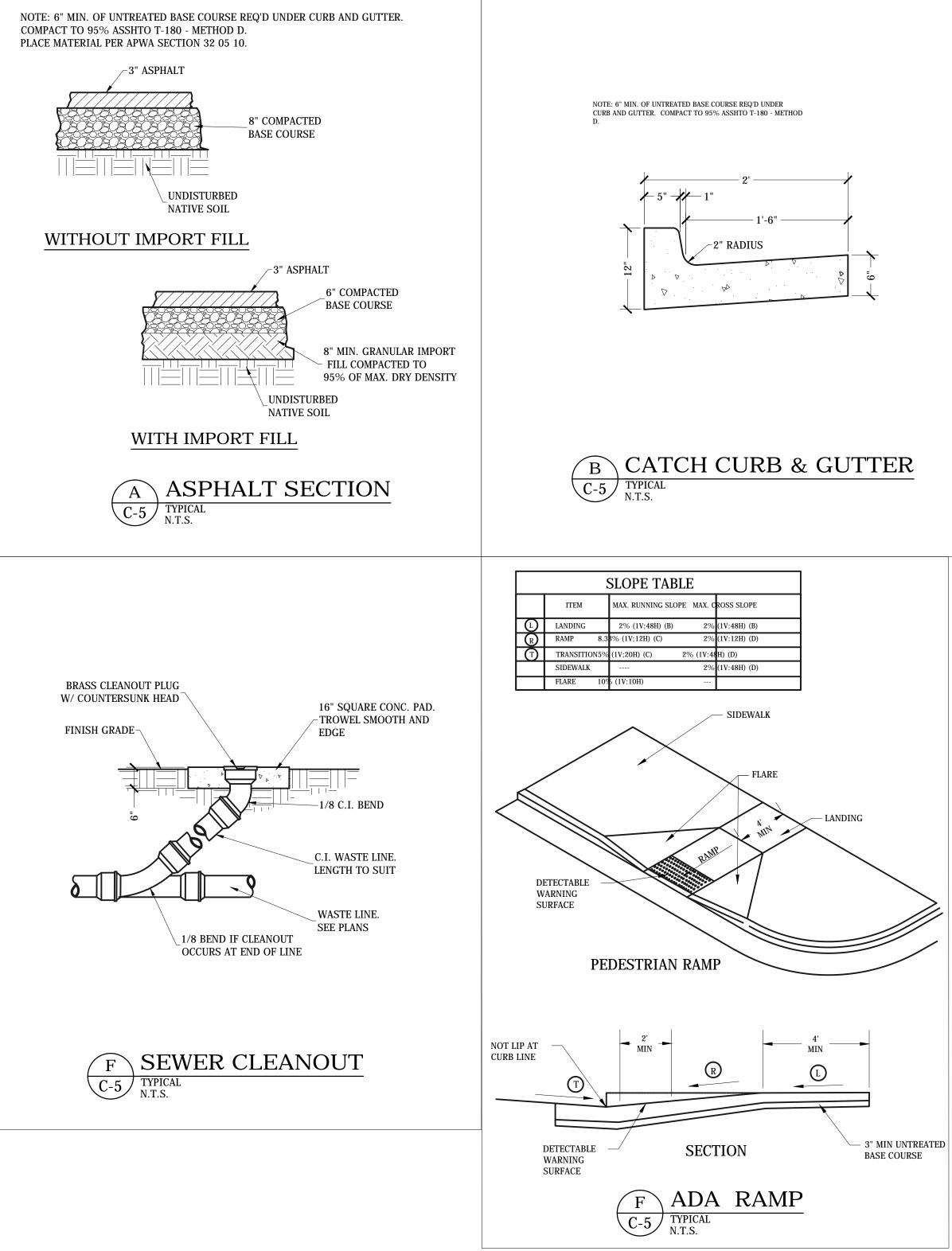
			ABBREVIATIONS	4
		ø	DIAMETER	Suite #4 0
		Δ.	DELTA DEGREES	Sui 0
w w w w	EXISTING WATER LINE PROPOSED WATER LINE	"	MINUTES, FEET SECONDS, INCHES	est, 401 236 3
FP FP FP FP	EXISTING FIRE PROTECTION		ALGEBRAIC DIFFERENCE AMERICAN DISABILITIES ACT	
FP FP FP	PROPOSED FIRE PROTECTION	ADS	CORRUGATED BLACK PLASTIC PIPE ARCHITECT, ARCHITECTURAL	200 W Utah 8 -298-2 98-598
	WATER MANHOLE	B&C	BAR & CAP BOUNDARY LINE AGREEMENT	577 - 1
	WATER MANHOLE	BLDG	BUILDING BENCHMARK	Noi ntif ne 8 801
wm wm	WATER METER		BOUNDARY BACK OF WALK	181 North Bountiful, Phone 801 Fax 801-2
A A	FIRE HYDRANT	BRG	BEARING BUTTERFLY VALVE	
¥ ¥	BLOWOFF		BEGIN VERTICAL CURVE BEGIN VERTICAL CURVE ELEVATION	Š
		C&G	BEGIN VERTICAL CURVE STATION CURB AND GUTTER	
\otimes \bowtie \otimes \bowtie	VALVE	CH	CATCH BASIN CHORD	
년 년	TEE	CI	CHORD BEARING CAST IRON	
ч <u>т</u> т т	ELBOW	CL	CAST IN PLACE CENTERLINE	
± ± ±		CO	CORRUGATED METAL PIPE CLEANOUT	
	REDUCER	CONC	COMMUNICATIONS CONCRETE	
		CUL	CONSTRUCTION CULINARY	
		CWL	CULINARY WATER CULINARY WATERLINE	
IRR — IRR IRR IRR	EXISTING IRRIGATION LINE PROPOSED IRRIGATION LINE	DI	DEMOLITION DUCTILE IRON	
		DIST	DIAMETER DISTANCE	
IRR IRR IRR IRR	IRRIGATION MANHOLE	EASE	EAST, ELECTRICITY, ELECTRICAL EASEMENT	r 1
R R	IRRIGATION METER	EL	EXISTING GRADE ELBOW	
¥ ¥	BLOWOFF	ELEV	ELECTRICAL ELEVATION EDCE OF ASPILALT	
		EVC	EDGE OF ASPHALT END VERTICAL CURVE	
\otimes \bowtie \otimes \bowtie	VALVE	EVCS	END VERTICAL CURVE ELEVATION END VERTICAL CURVE STATION	
년 년	TEE	FFE	EXISTING FINISH FLOOR ELEVATION	
· 777	ELBOW	FH	FINISH GRADE FIRE HYDRANT	
		FND	FLOWLINE FOUNDATION FUDE PROTECTION	
ΔΔ	REDUCER	FTG	FIRE PROTECTION FOOTING CAS NATURAL CAS	
		GB	GAS, NATURAL GAS GRADE BREAK CATE VALVE	
		HDPE	GATE VALVE HIGH-DENSITY POLYETHYLENE PIPE	
	EXISTING SEWER LINE	HPE	HIGH POINT HIGH POINT ELEVATION	
SSSS	PROPOSED SEWER LINE	ID	HIGH POINT STATION INSIDE DIAMETER	
ගිහි ගිහි	SEWER MANHOLE	INV	INVERT ELEVATION INVERT	
		IRRMH	IRRIGATION IRRIGATION MANHOLE DADUIS OF CUDVATUDE	
		L	RADIUS OF CURVATURE LENGTH	И.
— — — LD — — — LD — — — LD —	EXISTING LAND DRAIN	LD	LATERAL SERVICE LAND DRAIN	S.L.B.&M
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	LAND DRAIN MANHOLE	LP	LIP OF GUTTER LOW POINT LOW POINT ELEVATION	.1W., AH
		LPS	LOW POINT ELEVATION LOW POINT STATION MEASURE DOWN	
		MECH	MEASURE DOWN MECHANICAL MANHOLE	RY HRU Station ay 89 5, T.2N., J JUNTY, U
SDSDSDSDSD	EXISTING STORM DRAIN	MON	MONUMENT NORTH	ND RRY THRI E STATI WAY 89 36, T.2N COUNTY
SD SD	PROPOSED STORM DRAIN	NE	NORTHEAST NATURAL GRADE	
9090 909D	STORM DRAIN MANHOLE	NR	NON-RADIAL NORTHWEST	ES & LEGE T PE , RIVE SERVIC JTH HIGH SECTION Y, DAVIS
	CATCH BASIN	OC	ON CENTER OUTSIDE DIAMETER	NOTES TT DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR DR
		OHP	OVERHEAD POWER POINT OF CURVATURE	
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		PL	PROPERTY LINE PROPERTY	M SIPS SLIM OI 2305 THE NE 1/4 BOUNTIFUL
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F0 F0 F0 F0 F0 F0 F0 F0 F0	EXISTING FIBER OPTIC PROPOSED FIBER OPTIC	PUE&DE	PUBLIC UTILITY EASEMENT & DRAINAGE EASEMENT POINT OF VERTICAL INFLECTION	
- GAS — — — — — — — — — — — — — — — — — — —	EXISTING NATURAL GAS	R RC	RADIUS REBAR & CAP	LOCATED
GAS GAS	PROPOSED NATURAL GAS	RCL RCP	ROADWAY CENTERLINE REINFORCED CONCRETE PIPE	ΓΟ
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	PROPOSED POWER EXISTING OVERHEAD POWER	SDCB	STORM DRAIN STORM DRAIN CATCH BASIN	
	PROPOSED OVERHEAD POWER	SDMH	STORM DRAIN CLEANOUT STORM DRAIN MANHOLE	
UCP — — — UCP — — — UCP — — —	EXISTING UNDERGROUND POWER	SEC	SOUTHEAST SECONDARY	
UGP UGP	PROPOSED UNDERGROUND POWER	SLB&M	SECTION SALT LAKE BASE & MERIDIAN	
TEL TEL TEL	EXISTING TELEPHONE	SPECS	SPECIFICATION SPECIFICATIONS	
TEL TEL	PROPOSED TELEPHONE	SS	STEEL PIPE SANITARY SEWER	
		SSMH	SANITARY SEWER CLEANOUT SANITARY SEWER MANHOLE	2015
		STDS	STANDARD STANDARDS SECONDARY WATER	09/15/2015 09/15/2015 TE
	–POWER	SW	SECONDARY WATER SOUTHWEST SECONDARY WATER INF	DATE 09 DATE 09. DATE
	TELEPHONE & TV	TAN	SECONDARY WATERLINE TANGENT THEUST PLOCK	
	-GAS	TBC	THRUST BLOCK TOP BACK OF CURB TOP BACK OF WALK	BC STA
	-SEWER	TEL	TOP BACK OF WALK TELEPHONE	N BY DVED BY
		TOA	TOP OF CURBWALL TOP OF ASPHALT TOP OF CONCRETE	DRAWN BY APPROVED REV.
	TWO WORKING DAYS	TOE	TOP OF CONCRETE TOE OF SLOPE OR WALL TOP OF GRATE	SHEET
	BEFORE YOU DIG CALL	TOW	TOP OF GRATE TOP OF WALL UTILITY	C-1 NOTES
	1-800-662-4111	UD	UTILITY UNDERDRAIN UNDERGROUND POWER	NOTES & LEGEND
	UTAH TOLL FREE, OR		VERTICAL CURVE	DRAWING NAME

1137001

ROJECT NO.

1137001-MAIN CONST SET

15SEP15.dwg



C RELEASE CURB & GUTTER

-1'-6''

 \triangleright

 ∇ ∇

∕2" RADIUS

∇.

NOTE: 6" MIN. OF UNTREATED BASE COURSE REQ'D UNDER CURB AND GUTTER. COMPACT TO 95% ASSHTO T-180 - METHOD

5" **1**"

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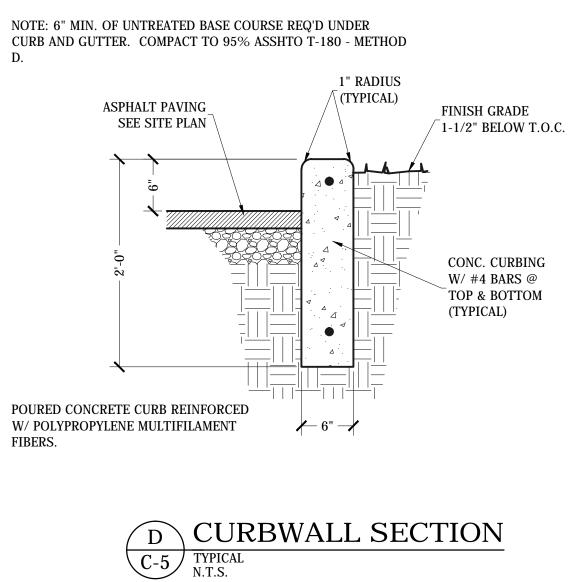
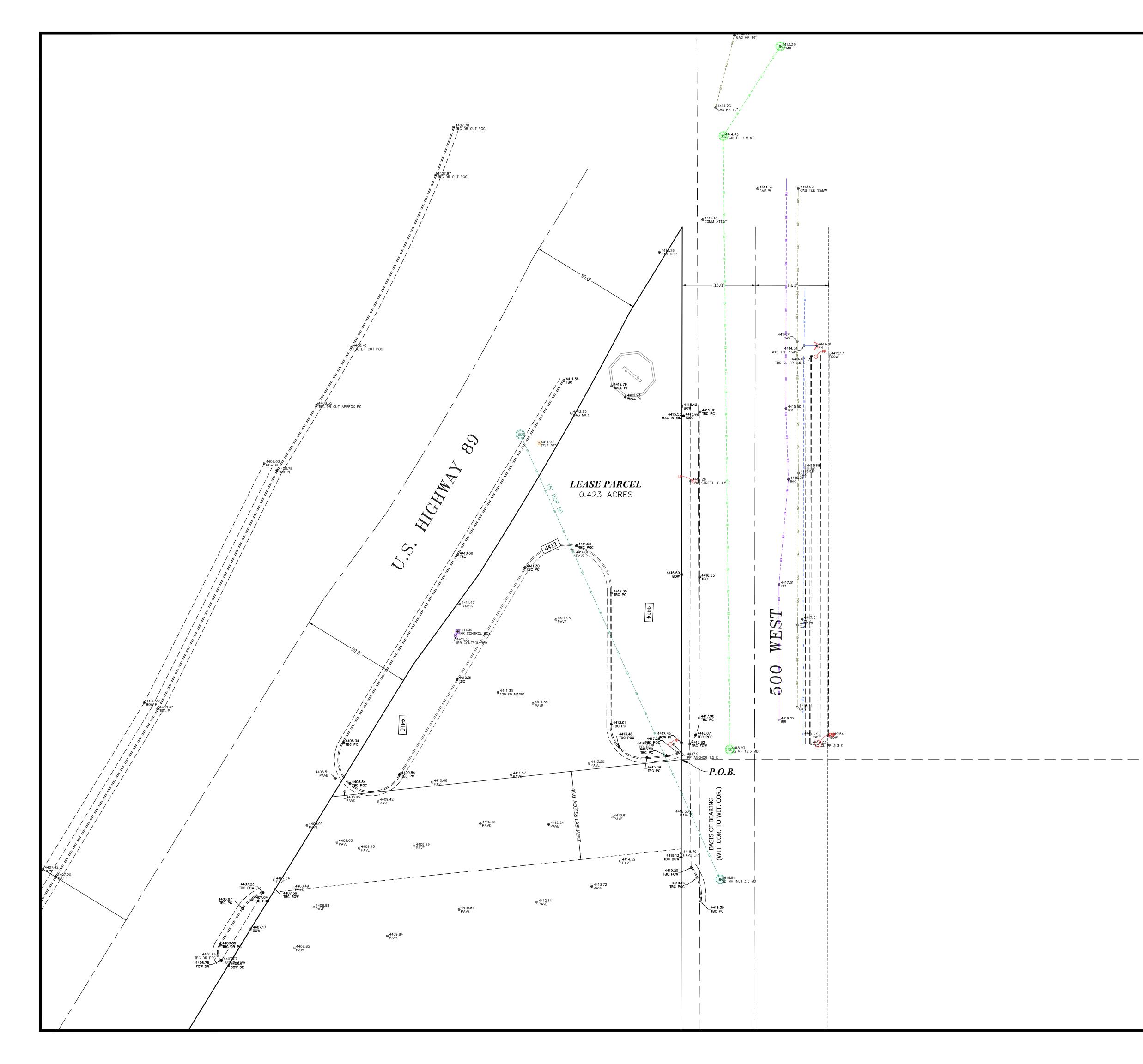
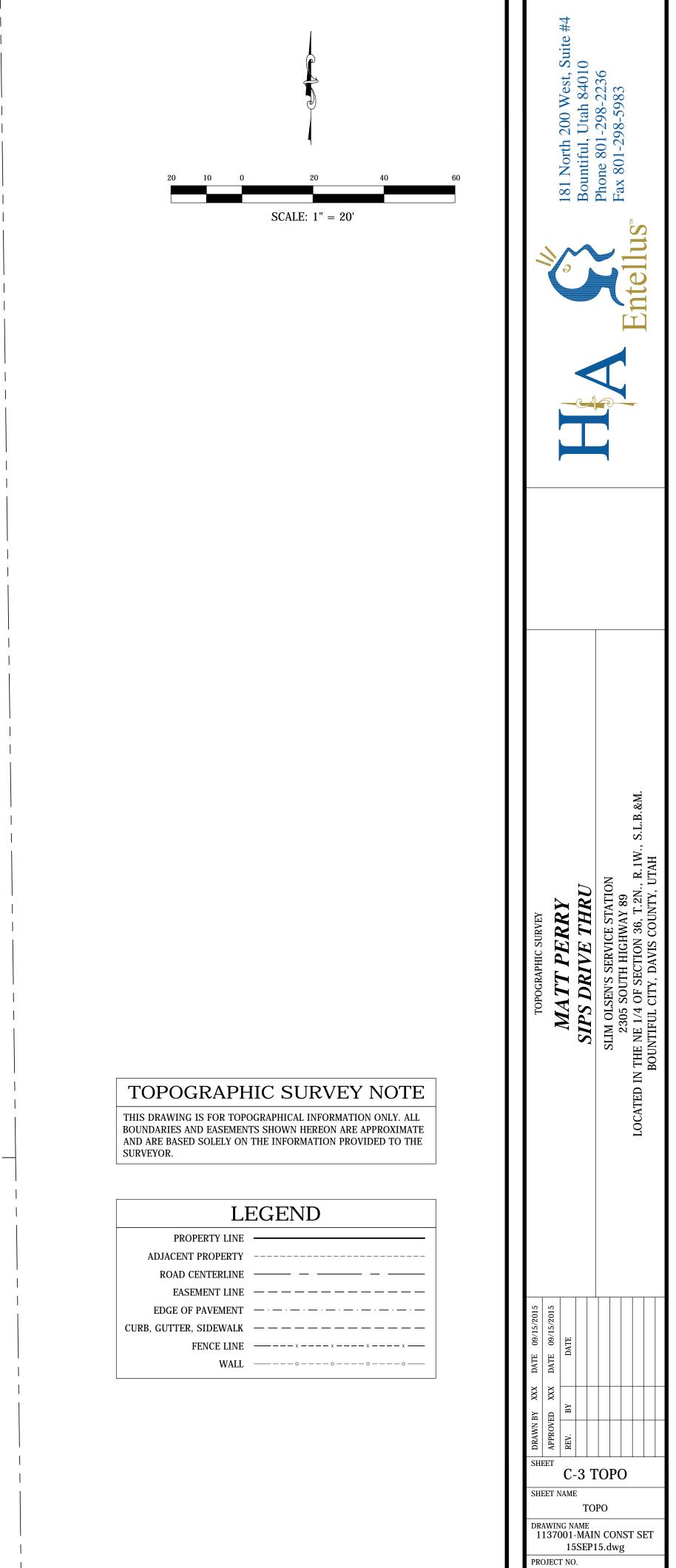


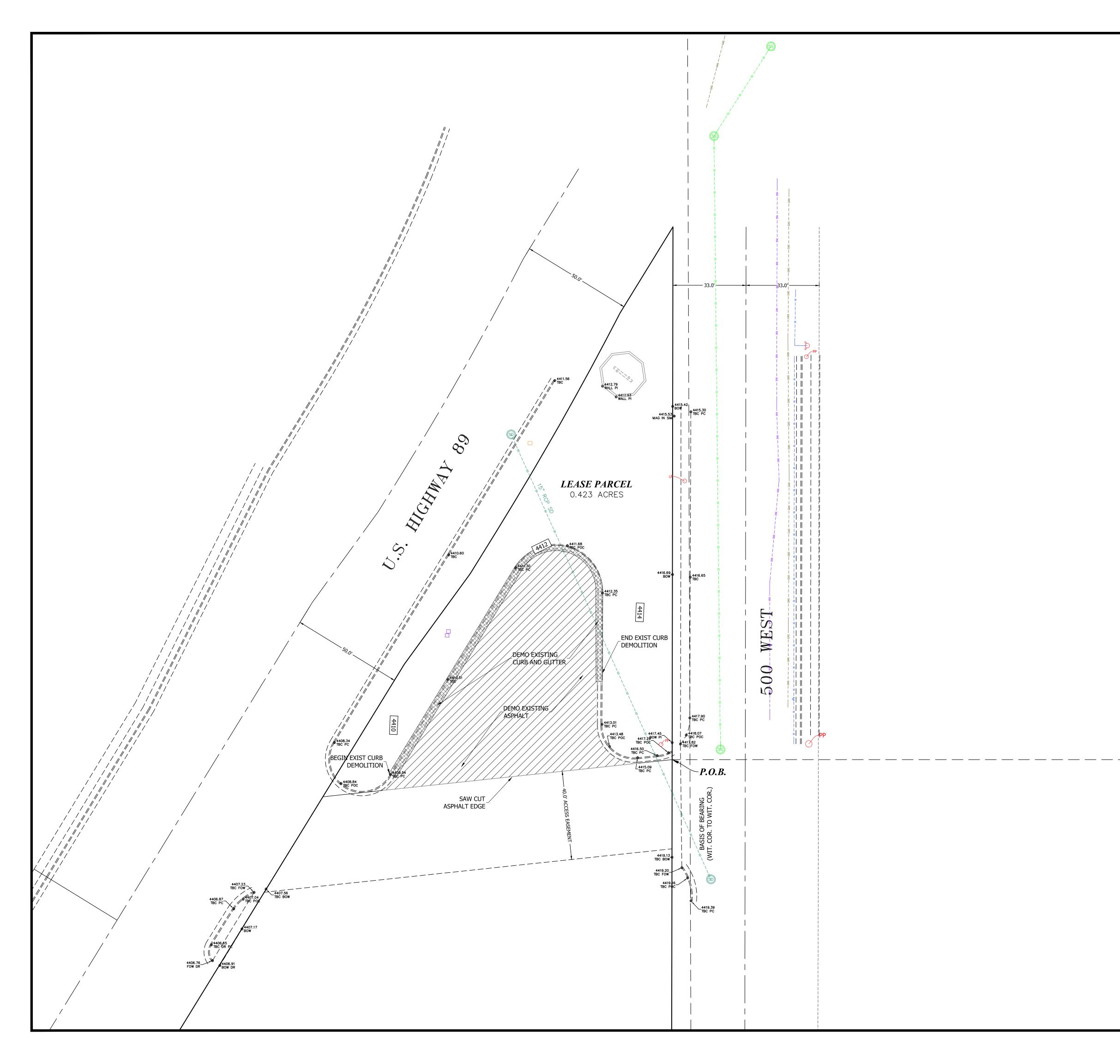
Image: Single field
DETAILS MATT PERRY MATT PERRY SIPS DRIVE THRU SIM OLSEN'S SERVICE STATION 2305 SOUTH HIGHWAY 89 LOCATED IN THE NE 1/4 OF SECTION 36, T.2N., R.IW., S.L.B.&M. BOUNTIFUL CITY, DAVIS COUNTY, UTAH
SHEET DETAILS SHEET NAME DETAILS DRAWING NAME 1137001-MAIN CONST SET 1137001 1137001

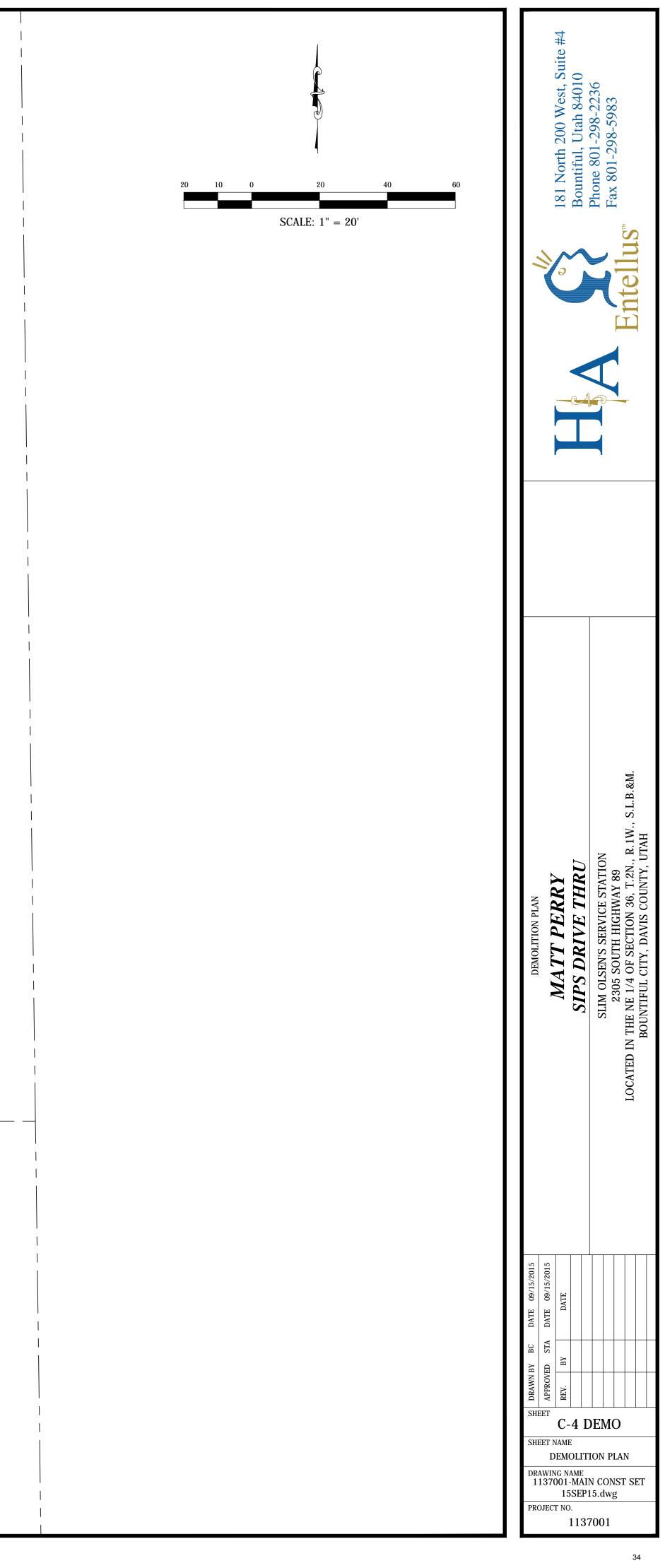
CONC. CURBING W/ #4 BARS @ TOP & BOTTOM (TYPICAL)

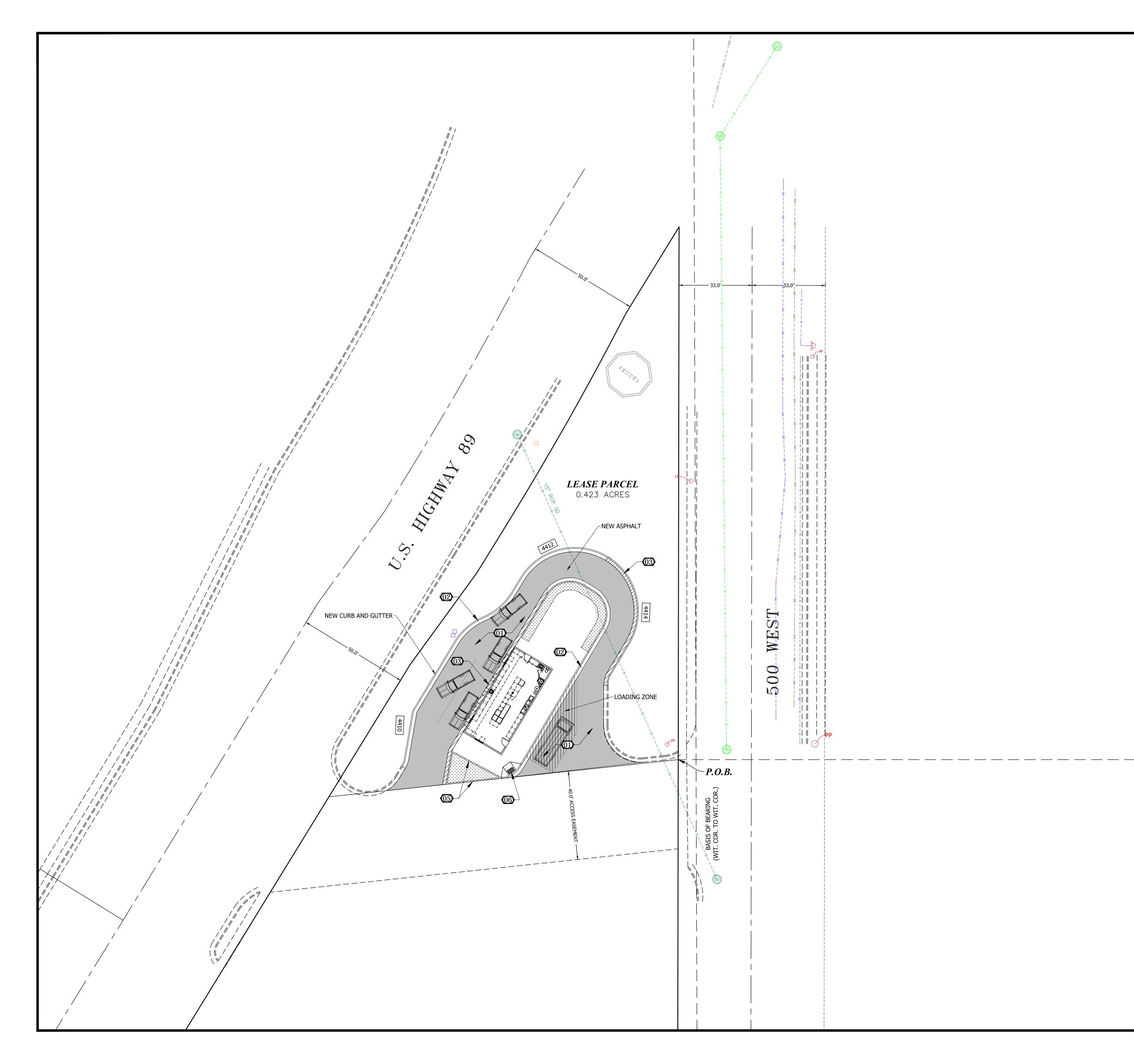
FINISH GRADE

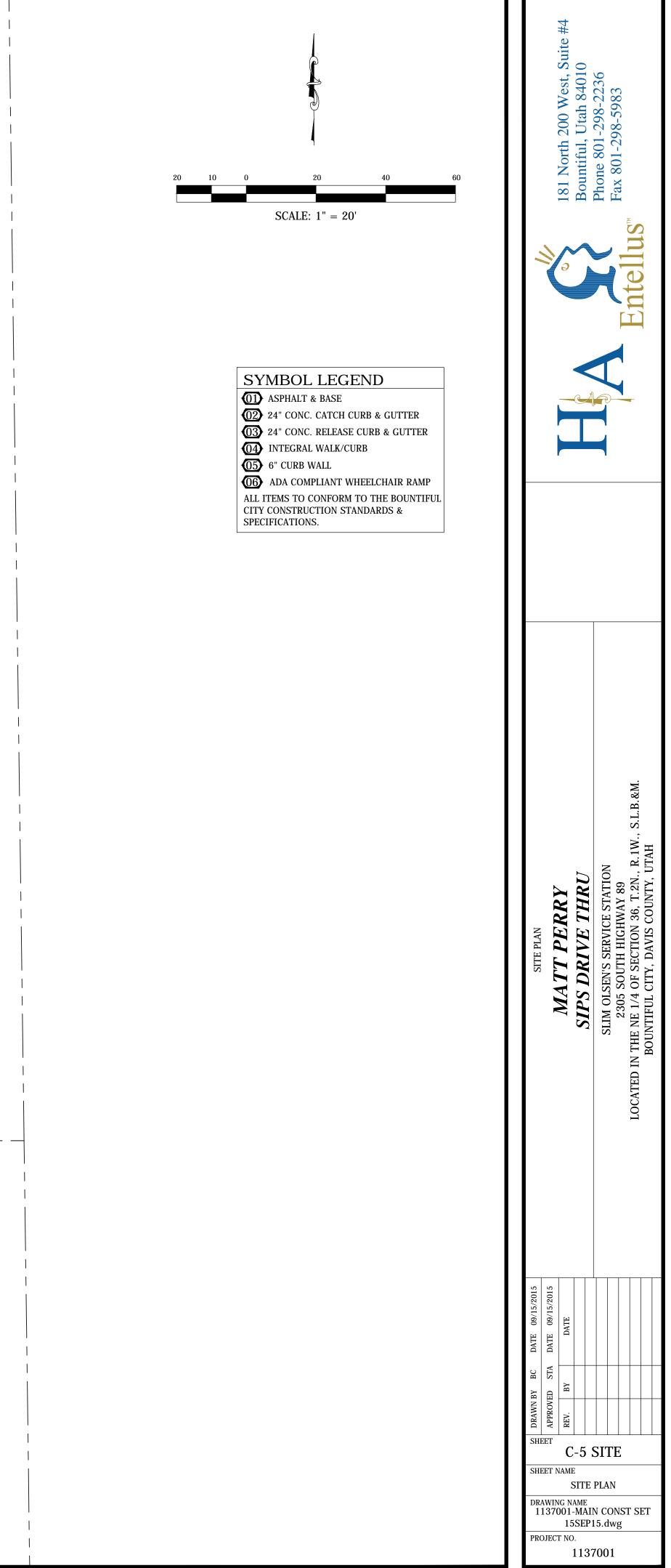


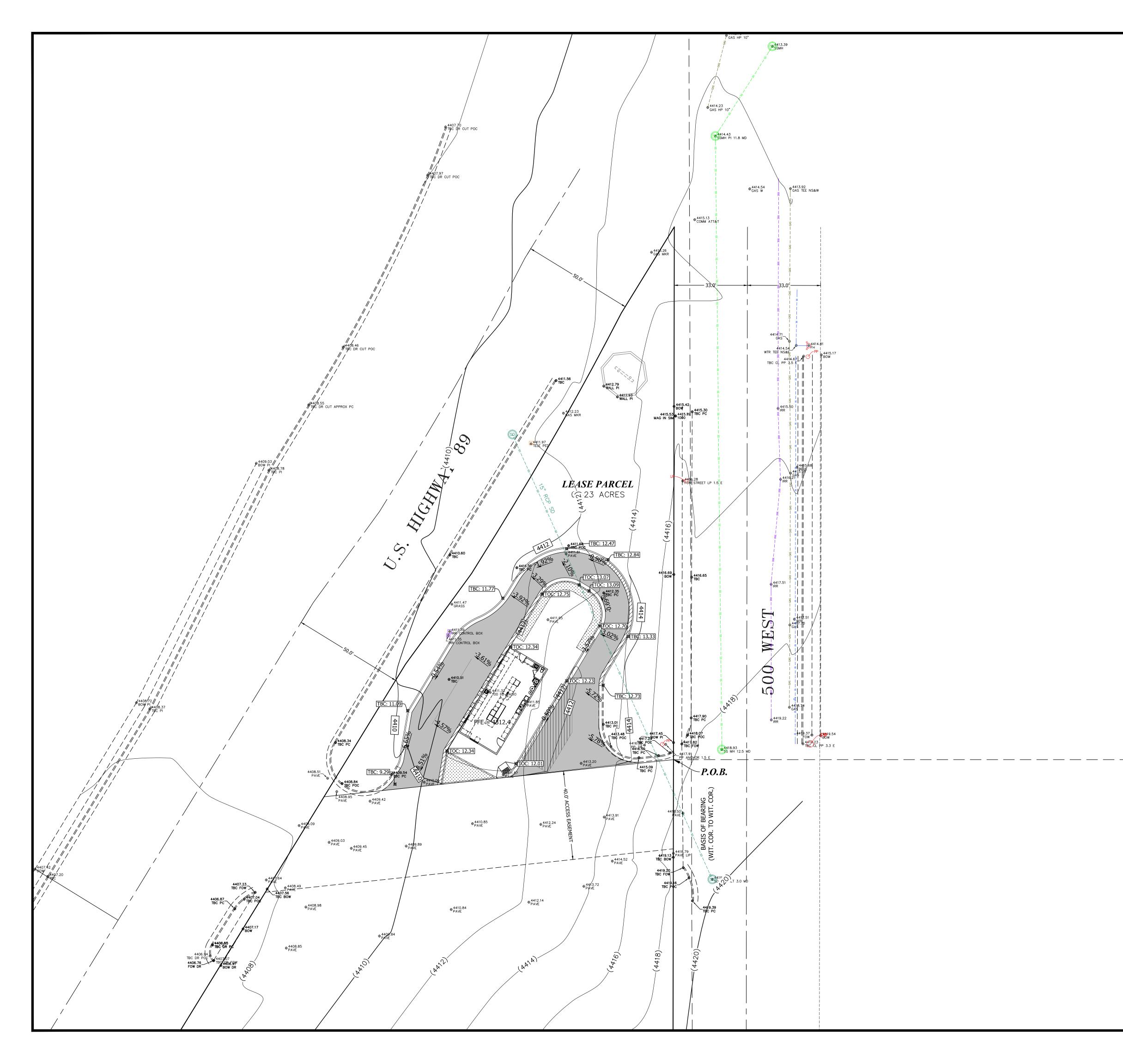


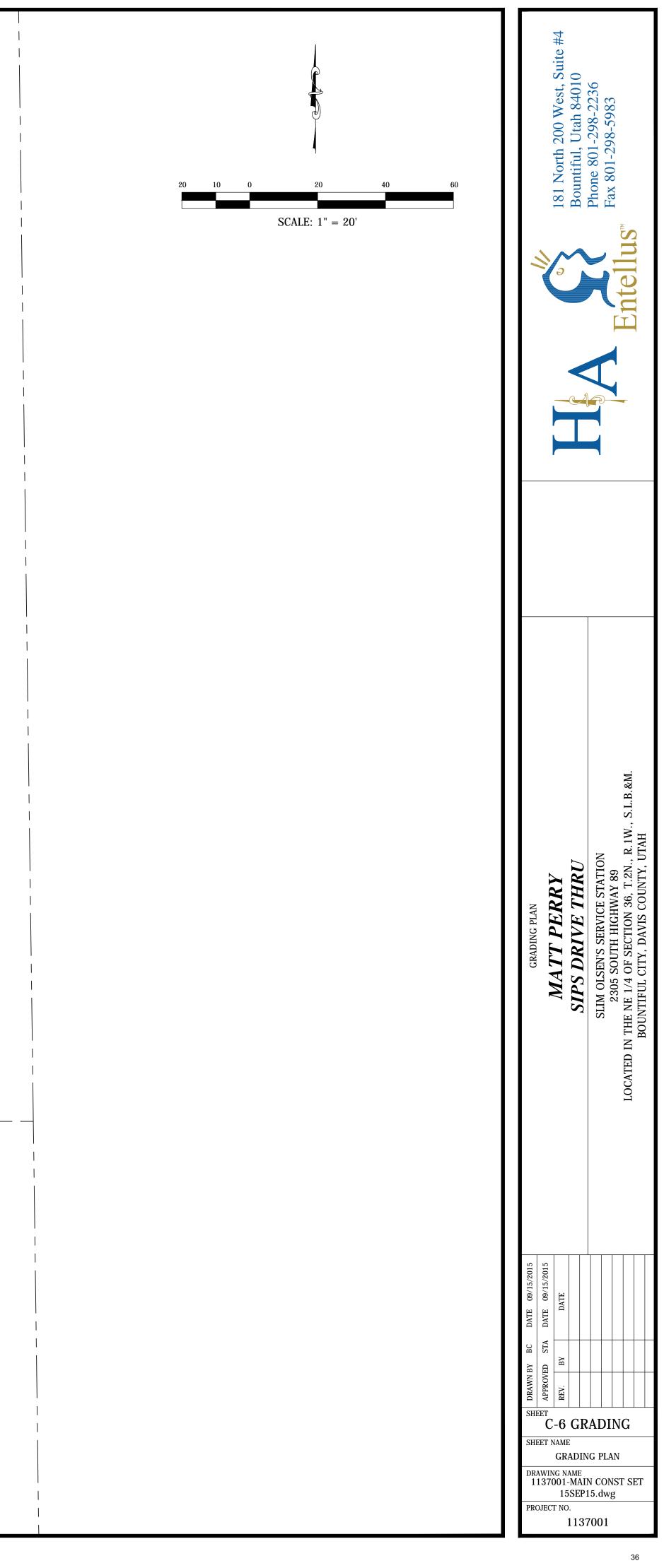


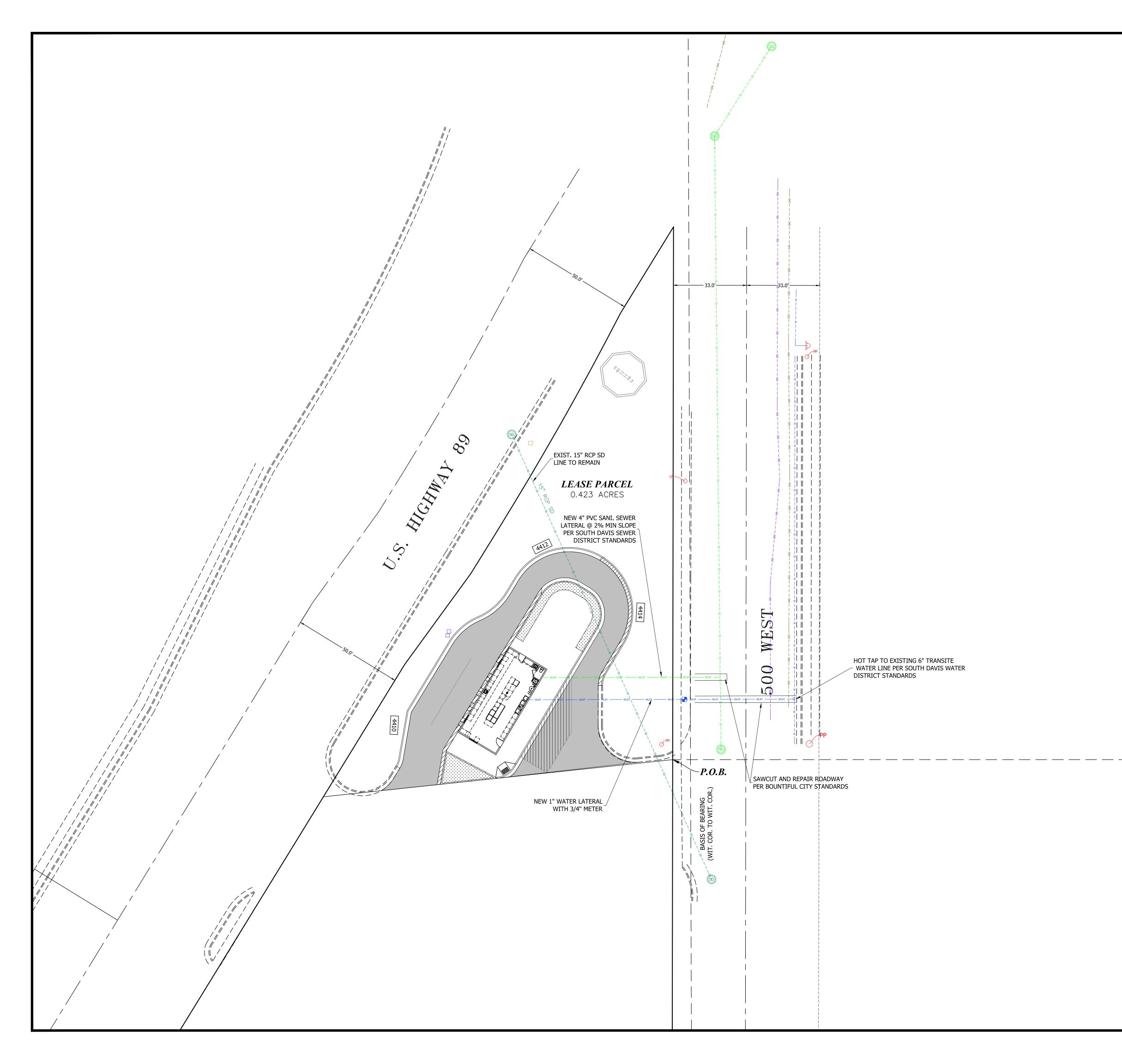


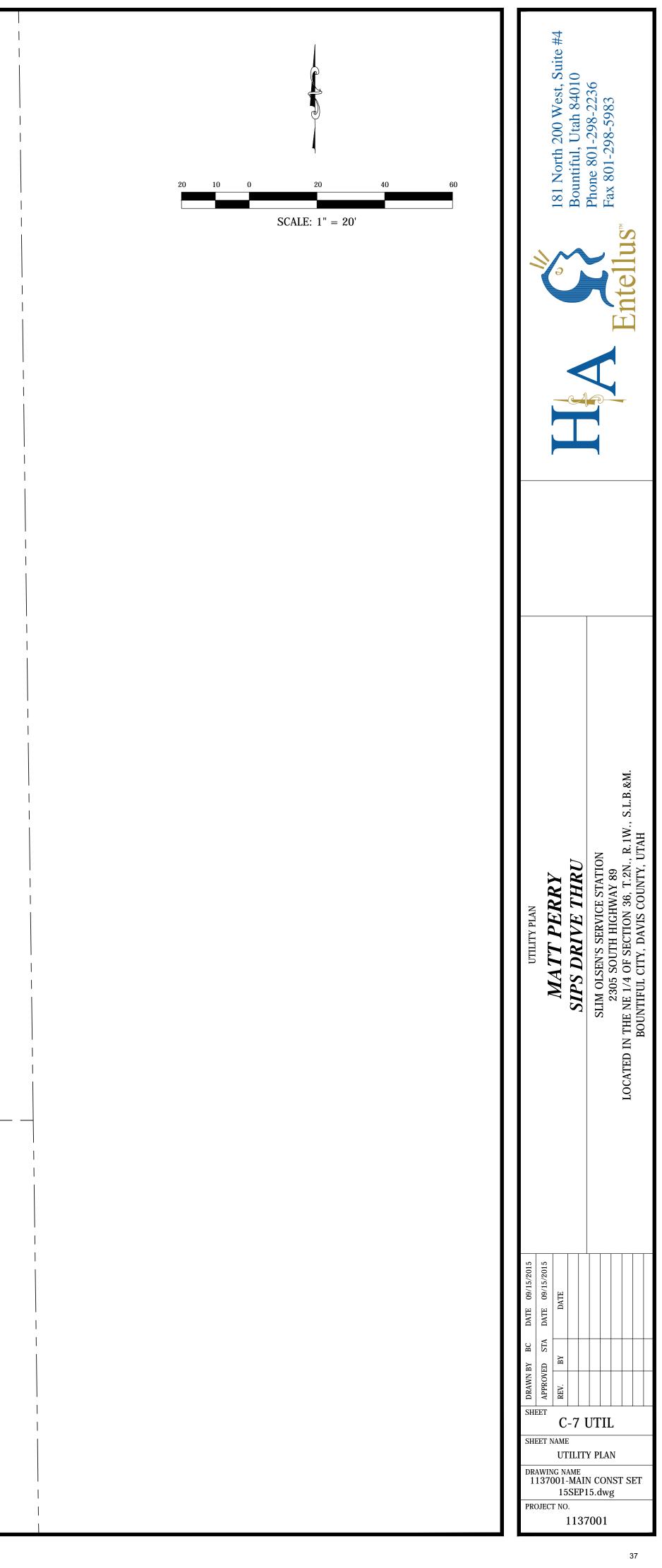


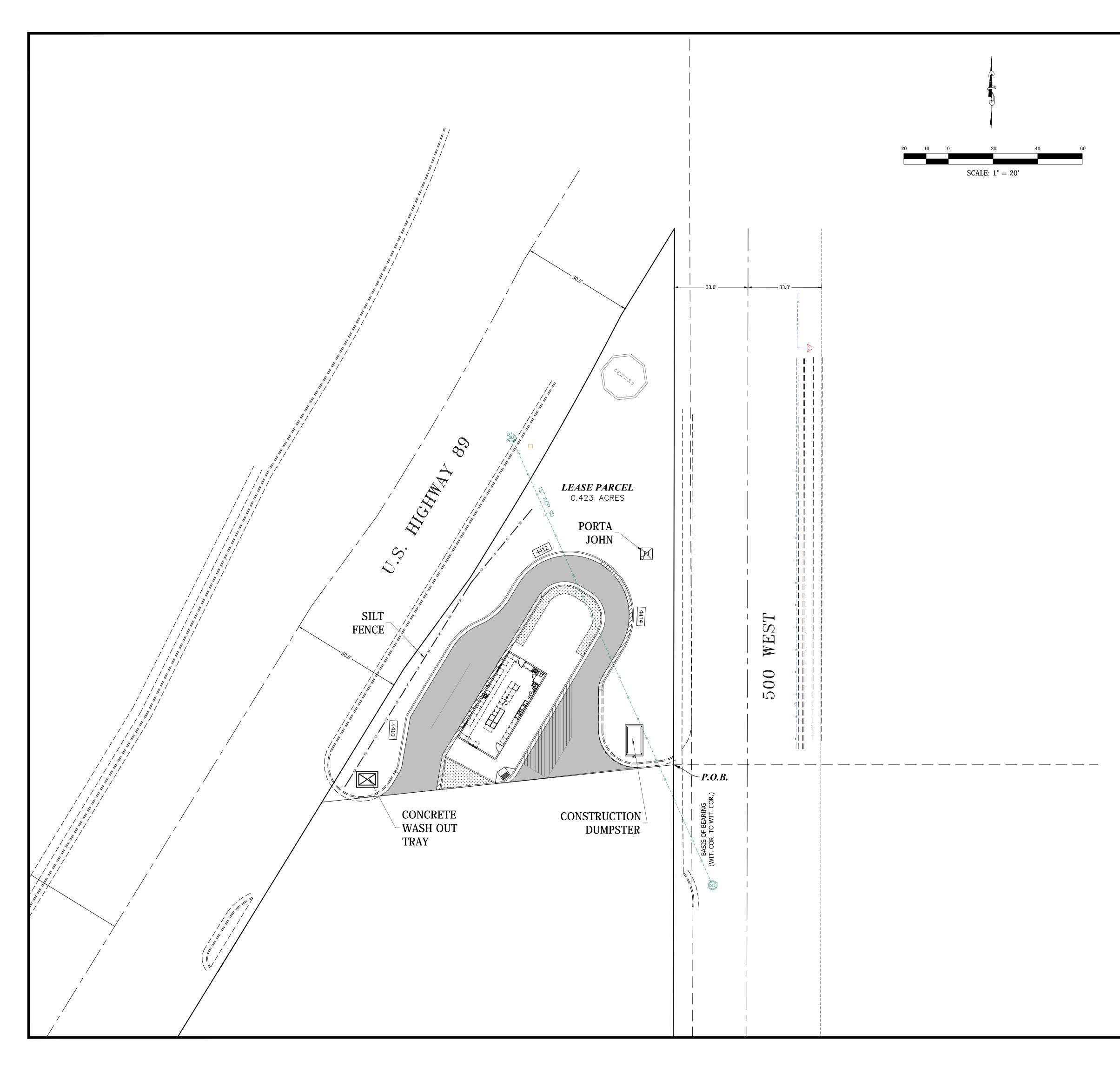


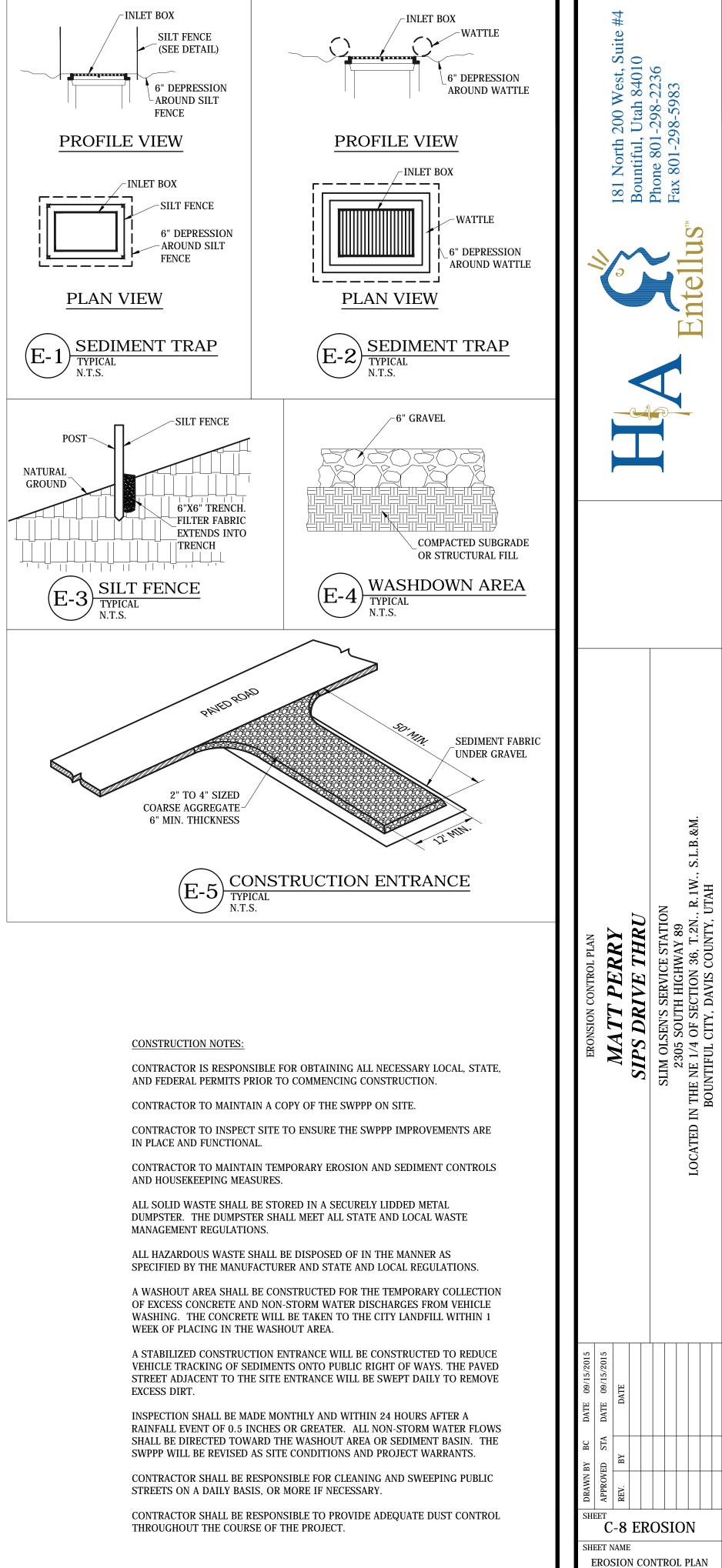








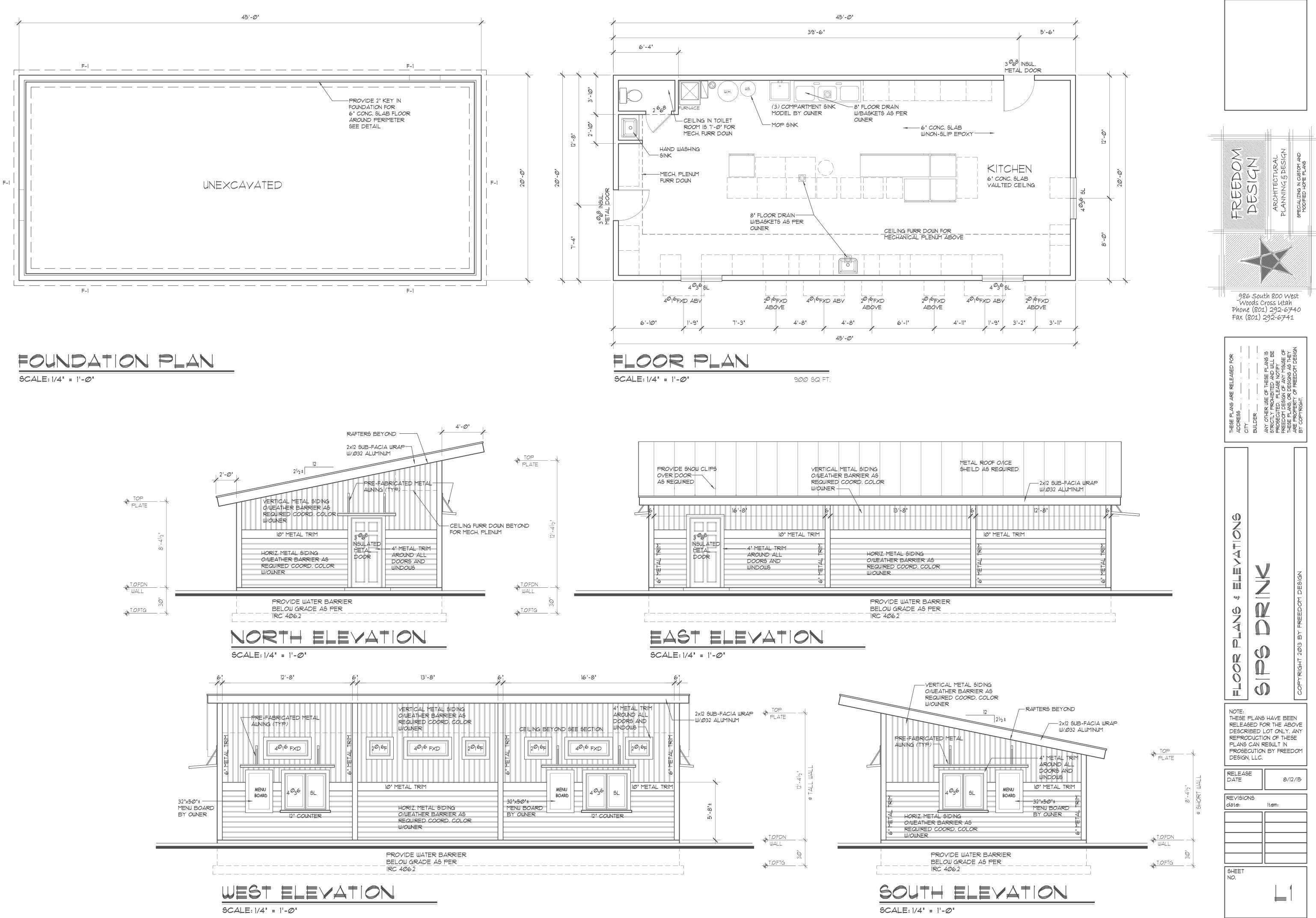




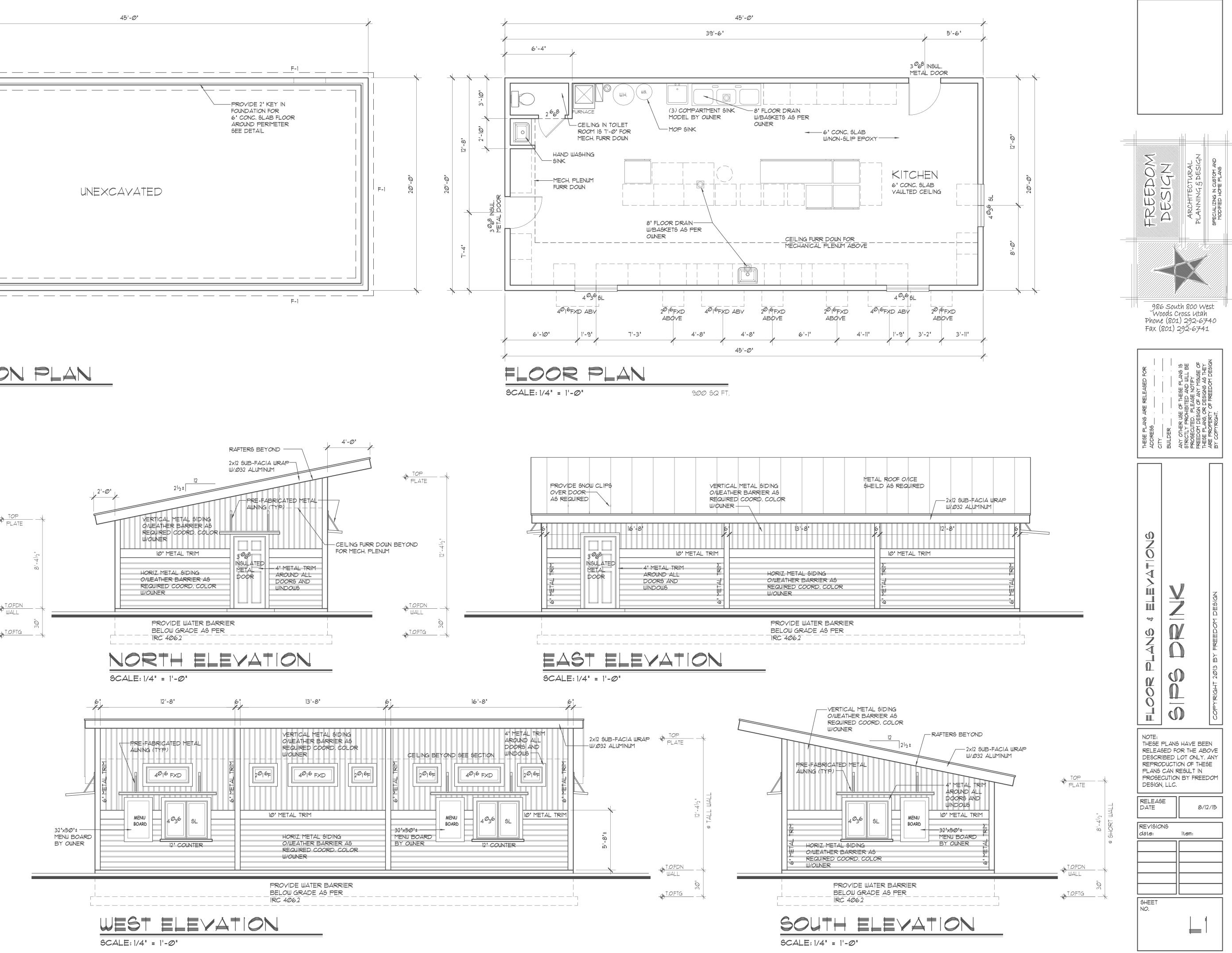
DRAWING NAME 1137001-MAIN CONST SET 15SEP15.dwg

1137001

PROJECT NO.







Subject: Preliminary and final site plan review for a drive through beverage restaurant
Address: 588 West 2600 South
Author: Chad Wilkinson, Planning Director
Department: Planning and Engineering
Date: October 13, 2015



Background

The applicant, Dain Black is requesting preliminary and final site plan approval to modify the existing site plan for automobile sales use to a site plan that will accommodate a drivethrough restaurant use.

<u>Analysis</u>

The property was recently developed as an auto sales use which operated for a brief time before closing in late 2014. The new use would modify the site to add a drive-through lane on the north side of the existing building. Access to the property is provided via a single driveway on 2600 South. All utilities were extended into the site with the previous development. The new use of the building will require the removal of some landscaping on the north side of the building which will be replaced with additional landscaping in other portions of the site. The building will still meet required setbacks and the amount of landscaping proposed will comply with the minimum 15 percent required by Code. Some of the landscaping will need to be installed as previously approved prior to occupancy of the building by the new use. The applicant proposes to add parking throughout the site. Required parking for fast food type restaurants is 1 space per 100 square feet. The existing building is approximately 1800 square feet in area requiring 18 spaces. The proposed 24 parking spaces meet the minimum requirements of the ordinance.

Department Review

The application has been reviewed by the City Planner and City Engineer.

Significant Impacts

The proposed plan calls for the removal of landscaping along the north side of the building which will be replaced with additional landscaping in other portions of the site. The drive-through restaurant is expected to generate more traffic than the previous automobile sales use; however with the recent improvements to 2600 South, the surrounding street system is designed to accommodate the anticipated traffic.

Recommendation

The Planning Commission reviewed the proposal on October 6, 2015 and forwards a recommendation of approval to the City Council for the preliminary and final site plan subject to the following conditions:

- 1. Complete any and all redline corrections, including modifications.
- 2. Prior to final approval, submit a revised final landscape plan consistent with the amended plan and meeting the requirements of Chapter 16 of the Bountiful City Zoning Ordinance. Landscaping shall be installed as approved prior to occupancy.

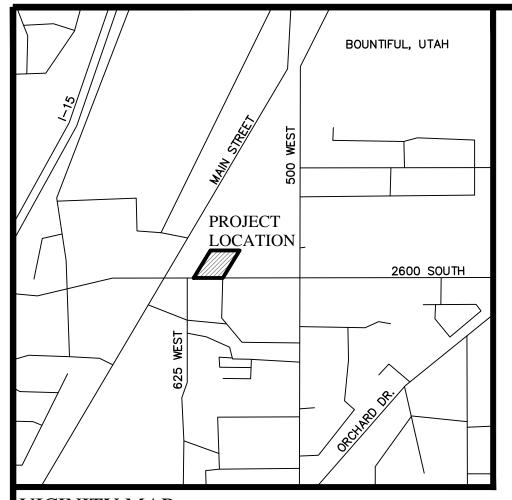
Attachments

- 1. Aerial photo
- 2. Site plan
- 3. Original landscape plan

G:\ENG\Site Plans\588 W 2600 S Dain Black\CC Staff Report Dain Black Drive Through 588 W 2600 S.docx

Aerial Photo





VICINITY MAP

