



# **BOUNTIFUL CITY PLANNING COMMISSION**

**Tuesday, June 6, 2023  
6:30 p.m.**

**NOTICE IS HEREBY GIVEN** that the Bountiful City Planning Commission will hold a meeting in the Council Chambers, Bountiful City Hall, 795 South Main, Bountiful, Utah, 84010, at the time and on the date given above. The public is invited. Persons who are disabled as defined by the American with Disabilities Act may request an accommodation by contacting the Bountiful Planning Office at 801-298-6190. Notification at least 24 hours prior to the meeting would be appreciated.

1. Welcome
2. Approval of the meeting minutes for May 2, 2023
  - Review and action
3. Architectural Site Plan Review Lot 11 at 1791 South Renaissance Drive  
*Senior Planner Amber Corbridge*
  - Review and recommendation
4. Downtown Zone Amendment Change  
*Senior Planner Amber Corbridge*
  - Review, public hearing, and recommendation
5. Planning Director's report, update, and miscellaneous business
6. Adjourn



Draft Minutes of the  
**BOUNTIFUL CITY PLANNING COMMISSION**  
**May 2, 2023 – 6:30 p.m.**

Location:	Council Chambers	City Hall, 795 South Main Street, Bountiful UT 84010
Present:	Commission Members	Lynn Jacobs (Chair), Jim Clark, Krissy Gilmore, Sean Monson, Cecille Price-Huish and Sharon Spratley
	City Engineer	Lloyd Cheney
	Planning Director	Francisco Astorga
	Senior Planner	Amber Corbridge
	Recording Secretary	Darlene Baetz
Excused:	Commission Member	Alan Bott (Vice-Chair)
	City Attorney	Clinton Drake

---

**1. Welcome.**

Chair Jacobs called the meeting to order at 6:30 p.m. and welcomed those in attendance.

**2. Approval of the minutes for April 18, 2023.**

MOTION: Commissioner Monson made a motion to approve the minutes with a deletion to page 2 line 34. Commissioner Clark seconded the motion.

VOTE: 6-0 in approval.

**3. 1385 South 500 West – Conditional Use Permit for a Bar/Tavern at Robintino’s**

**4. 1385 South 500 West – Preliminary and Final Site Plan Review for Bar/Tavern at Robintino’s**

Tali Bruce, applicant, was present. Senior Planner Corbridge presented both two items together.

Ms. Bruce is requesting a Conditional Use Permit (CUP) and Architectural Site Plan Approval for a new bar establishment inside Robintino’s Restaurant. The proposed plan is to establish a full bar to include the food menu of Robintino’s Restaurant and will be in a separate and closed off room. The full-bar has received local consent approval from City Council and will be required to meet all state code requirements as well. The bar hours would have the same hours of operation as the restaurant, 11 am to 9 pm on the weekdays and 11 am to 10 pm on the weekend.

Commissioner Spratley asked about where the patrons will show their identifications for the bar area. Ms. Bruce noted the restaurant will continue to have a hostess seat all patrons in the restaurant and bar. They will be checking identifications at this time for the bar area. The full menu of Robintino’s will be available for the patrons in the bar area, however alcohol will not be served in the restaurant area.

Chair Jacobs opened the Public Hearing at 6:43 p.m.

Matt Erickson noted his concern that Robintino’s bar will bring additional traffic to this neighborhood. He also noted the current continual problem of theft and vandalism in this area. He

1 noted concern for additional cameras.

2  
3 Jason Harrison noted his concern with the potential vagrant problems associated with a bar.

4  
5 Chair Jacobs closed the Public Hearing at 6:53 p.m.

6  
7 Commissioner Spratley felt that the proposed Conditional Use Permit would not be a huge variance  
8 to what is already at the restaurant.

9  
10 Commissioner Gilmore felt that the General Plan's meetings and the information that was gathered  
11 showed a desire from the polled citizens who wanted to see a few more businesses like this.

12  
13 Commissioner Monson noted that the Conditional Use Permit is a permitted use and the  
14 Commissioners can place conditions on the item to approve the project.

15  
16 Chair Jacobs reopened the Public Hearing at 7:08 p.m.

17  
18 Mr. Erickson asked about the approval distance for churches and school. He stated his concerns for  
19 additional cameras and perhaps security or bouncers and asked that a condition be placed on this  
20 project for set hours of operation.

21  
22 Staff noted that the Department of Alcoholic Beverage Services (DABS) has approved the required  
23 distances for this project and did not find anything out of compliance.

24  
25 Chair Jacobs closed the Public Hearing at 7:13 p.m.

26 MOTION: Commissioner Spratley made a motion to approve the Conditional Use Permit for the  
27 Bar/Tavern with the three (3) conditions outlined by staff with the correction to condition 1 of 49  
28 occupant from 50 occupants and the addition of condition 4. Commissioner Price-Huish seconded  
29 the motion.

30  
31 VOTE: 6-0 in favor.

32  
33 CONDITIONS OF APPROVAL:

- 34  
35 1. Submit a detailed floorplan, showing the number of fixed chairs and seating for both the bar and  
36 restaurant. The bar area is limited to 50 49 occupants, including bartender and/or staff.  
37 2. Implement the staff recommended site plan to meet the minimum landscaping requirement.  
38 3. Satisfy all department review comments.  
39 4. Bar hours match those of the restaurant hours.  
40

41 AMENDED MOTION: Commissioner Spratley amended her motion to approve the Conditional  
42 Use Permit for the Bar/Tavern with the three (3) conditions outlined by staff with the correction to  
43 condition 1 of 49 occupants from 50 occupants and the corrected language to addition of condition  
44 4. Commissioner Monson seconded the motion.

45  
46 AMENDED CONDITIONS OF APPROVAL:  
47

- 1           1.    Submit a detailed floorplan, showing the number of fixed chairs and seating for both the bar and
- 2           restaurant. The bar area is limited to 50 49 occupants, including bartender and/or staff.
- 3           2.    Implement the staff recommended site plan to meet the minimum landscaping requirement.
- 4           3.    Satisfy all department review comments.
- 5           4.    Bar hours match those of the restaurant hours but open no later than 11:00 p.m.

6  
7           VOTE: 6-0 in favor.

8  
9           MOTION: Commissioner Price-Huish made a motion to forward a positive recommendation to the

10          City Council for the approval of the Preliminary and Final Site Plan Review for Bar/Tavern.

11          Commissioner Gilmore seconded the motion.

12  
13          VOTE: 6-0 in favor.

14  
15          **5. Planning Director’s report, review of pending applications and miscellaneous business.**

16  
17          **6. Adjourn**

18  
19          Chair Jacobs adjourned the meeting at 7:24 p.m.



# Planning Commission Staff Report



**Subject:** Preliminary/Final Architectural and Site Plan for a Multi-Family Mixed Use Development at 1791 South Renaissance Towne Drive Lot 11

**Author:** Amber Corbridge, Senior Planner

**Department:** Planning

**Date:** June 6, 2023

---

## **Background**

The applicant, Randy Beyer with Knowlton General LC, is requesting Preliminary/Final Architectural and Site Plan Approval to develop Renaissance Towne Centre Lot 11. This property is located within the Mixed-Use Residential (MXD-R) Zone and is in the southeast corner of the Renaissance Towne Centre (RTC) development. The City Council approved a zone change for the entire RTC development to MXD-R Zone in May 2019, which amended the Development Plan/ordinance. The Development Plan was amended in April, 2021, and then in October 2022, specifically for this site. The approved Development Plan regulates how RTC will develop, such as permitted uses, building heights and setbacks, landscaping, parking, structure design and materials, site plan approval, etc.

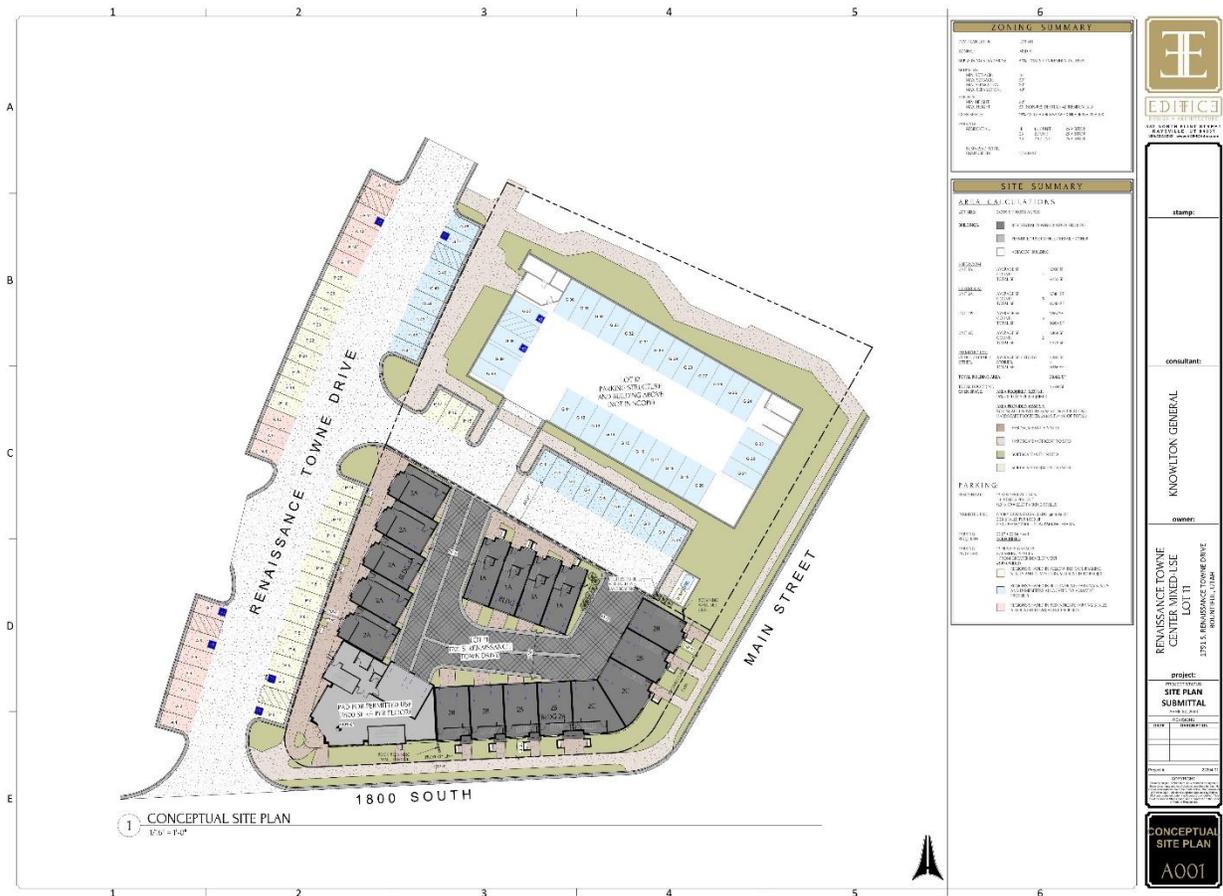
This mixed-use project proposal, platted Lot 11, consists of seventeen (17) townhouses, three (3) apartments, and two (2) non-residential (office/retail) spaces. The three (3) apartments would be located on the third and fourth floor of the mixed-use section, and the nonresidential spaces would be located on the first and second floor (corner of 1800 South and Renaissance Towne Drive). The proposed townhouses line up and face the following streets:

- Main Street – 3 townhouses
- 1800 South – 5 townhouses
- Renaissance Towne Drive - 5 townhouses
- Interior circular driveway access via platted Lot 12

The maximum building height for all structures would be fifty-four (54) feet.

The structures are designed to fit within the RTC development, where exterior architectural elements and materials are compatible with other structures in the area. The applicant is proposing brick and stone as the main exterior building materials, and vertical siding and stucco as accent materials (See attached elevation drawings, including material finishes, colors, and coverages).

The site plan below shows the site meeting landscaping area, parking, walkway widths and connections, patios, aisle widths, etc.



**Analysis**

The architectural and site plans have been reviewed by staff, where setbacks, height, landscaping, parking, and other applicable standards are reviewed for compliance and meet the Amended 2021 RTC Development Plan/ordinance. The following items are notable review comments:

*Design Guidelines.*

The Development Plan/ordinance states that each residential unit shall have private outdoor space in the form of a balcony or patio. Exceptions may be allowed and evaluated by the Land Use Authority during the Site Plan Approval Process. The proposed patios meet this requirement; however, there are inconsistencies with the plans. The patios on some plans show fencing around a bench, and others show a pad and bench without fencing. The plans will need to be corrected to have all patio areas consistent with each other. Staff recommends the patio areas be open style where the fencing is not present. The fencing design takes away from the architecture of the townhouses facing the street, as shown in the images below.



2 SOUTH ELEVATION OVERALL  
1/8" = 1'-0"

### *Engineering, Building, Power, and Fire Comments*

There are minor outstanding engineering redlines/corrections, and The Fire District has comments on the civil plans, which will need to be corrected. Staff recommends addressing these typical items prior to issuance of the building permit, see conditions of approval.

### **Department Review**

This staff report was written by the Senior Planner and reviewed by the Planning Director and City Attorney.

### **Significant Impacts**

The development would be in an area with urban levels of infrastructure in place. Impacts from the development of this property have been anticipated in the design of the existing storm water, sewer, culinary water, and transportation system.

## **Recommendation**

Staff recommends that the Planning Commission review the Preliminary/Final Architectural and Site Plan application and forward a positive recommendation to the City Council, subject to the Conditions of Approval found below.

1. Remove the fencing around the patios facing the street.
2. Update plans to show patio designs consistent with each other.
3. Meet all department staff review comments and corrections.

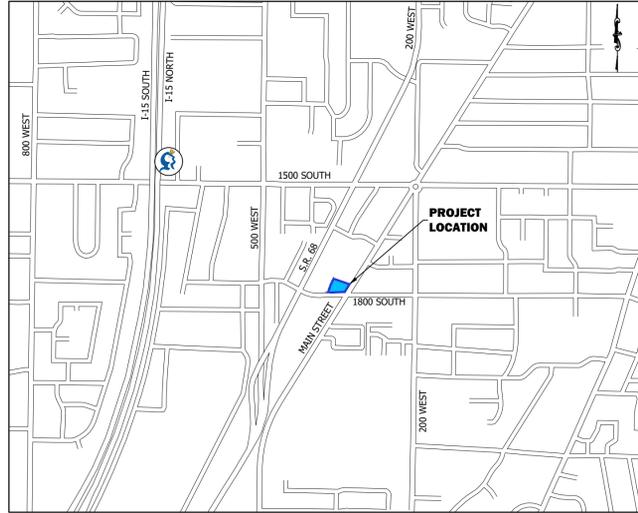
## **Attachments**

1. Site Plan
2. Landscape Plan
3. Building Elevations

# LOT 11 RENAISSANCE TOWNE CENTER PHASE 3 PLAT 1

1791 S. RENAISSANCE TOWNE DRIVE  
 LOCATED IN THE SW 1/4 OF SECTION 30, T.2N., R.1E., S.L.B.&M.  
 BOUNTIFUL CITY, DAVIS COUNTY, UTAH

## VICINITY MAP



SCALE: 1"=1000'

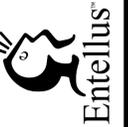
## CIVIL DRAWING INDEX

SHEET	TITLE
C100	COVER
C101	NOTES & LEGEND
C300	DEMOLITION PLAN
C400	SITE PLAN
C500	GRADING PLAN
C600	UTILITY PLAN
C900	SITE DETAILS
C910	UTILITY DETAILS
EC100	EROSION CONTROL

## GENERAL NOTES

- 1) ALL WORK WITHIN A PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE RIGHT-OF-WAY OWNER'S STANDARDS & SPECIFICATIONS.
- 2) ALL UTILITY WORK SHALL CONFORM TO THE UTILITY OWNER'S STANDARDS & SPECIFICATIONS.
- 3) THESE PLANS DO NOT INCLUDE DESIGN OF DRY UTILITIES. THESE PLANS MAY CALL FOR RELOCATION, AND/OR REMOVAL AND/OR CONSTRUCTION OF DRY UTILITIES, BUT ARE NOT OFFICIAL DRAWINGS FOR SUCH. DESIGN AND COORDINATION OF DRY UTILITIES IS BY OTHERS.
- 4) THE CONTRACTOR SHALL COORDINATE AND OBTAIN ANY PERMITS REQUIRED FOR THE WORK SHOWN HEREON.
- 5) THE LOCATION AND ELEVATIONS OF UNDERGROUND UTILITIES SHOWN ON THESE PLANS IS A BEST ESTIMATE BASED ON UTILITY COMPANY RECORDS, BLUESTAKES, AND FIELD MEASUREMENTS OF READILY OBSERVABLE ABOVE-GROUND FEATURES. AS SUCH, THIS INFORMATION MAY NOT BE COMPLETE, UP-TO-DATE, OR ACCURATE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO STOP WORK AND NOTIFY THE ENGINEER IF CONFLICTING INFORMATION IS FOUND IN THE FIELD.
- 6) THE CONTRACTOR IS TO FIELD VERIFY THE LOCATION AND ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES PRIOR TO STAKING AND CONSTRUCTION.
- 7) CALL BLUESTAKES AT LEAST 48 HOURS PRIOR TO DIGGING. DO NOT PROCEED UNTIL BLUESTAKES ARE MARKED.
- 8) IT SHALL BE THE CONTRACTOR'S AND SUBCONTRACTOR'S RESPONSIBILITY TO MEET ALL APPLICABLE HEALTH AND SAFETY REGULATIONS, AND THEY SHALL ASSUME SOLE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING CONSTRUCTION OF THIS PROJECT, SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK, AND THE PUBLIC IS PROTECTED.

1470 South 600 West  
 Woods Cross, UT 84010  
 Phone 801.298.2236  
 www.Entellus.com



**KNOWLTON GENERAL**  
 70 N MAIN STREET  
 BOUNTIFUL, UT 84010  
 BRIAN KNOWLTON  
 801-828-0756  
**OWNER AND DEVELOPER**



**LOT 11 RENAISSANCE TOWNE CENTER  
 PHASE 3 PLAT 1**

1791 S. RENAISSANCE TOWNE DRIVE  
 LOCATED IN THE SW 1/4 OF SECTION 30, T.2N., R.1E., S.L.B.&M.  
 BOUNTIFUL CITY, DAVIS COUNTY, UTAH

### REVISIONS

DRAWN: JBC 2022-11-10  
 APPROVED: CC 2022-11-10  
 PROJECT #: 1185016  
 1185016\_SET.dwg

**C100**  
 COVER

**Know what's below.**  
**Call 811 before you dig.**

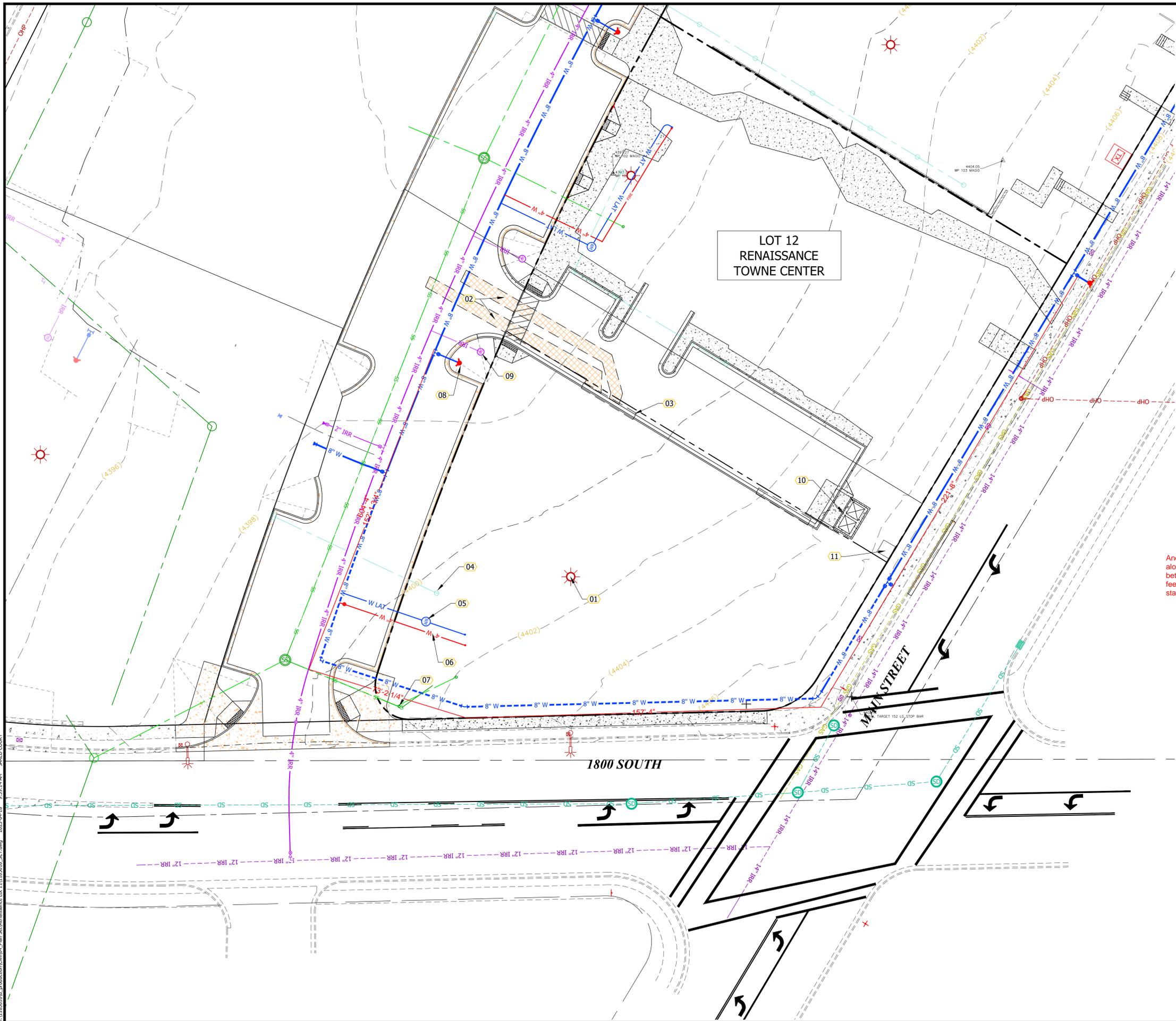
**BLUE STAKES OF UTAH**  
 UTILITY NOTIFICATION CENTER, INC.  
 www.bluestakes.org  
 1-800-662-4111

**BENCHMARK** AERIAL TARGET (NW CORNER OF 1800 S & MAIN STREET)  
**ELEVATION** 4408.14

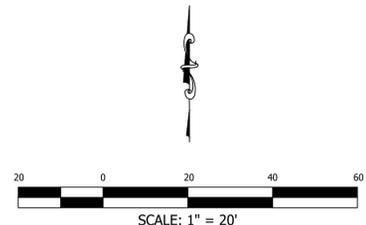
PLAN REVIEW  
 05/03/2023  
 LLOYD CHENEY  
 BOUNTIFUL CITY ENGINEER  
 CHENEY COMMENTS IN GREEN

h:\1185016\production\Civil\04\_Plan\_Sets\Renaissance Lot 11\1185016\_SET.dwg 2023-04-18 9:39:01 AM JARED COURT





LOT 12  
RENAISSANCE  
TOWNE CENTER



**BOUNTIFUL POWER**

- 01 OVERHEAD LIGHT TO BE REMOVED. OWNER/CONTRACTOR TO COORDINATE WITH ROCKY MOUNTAIN POWER ON REMOVAL.
- 02 SAW CUT AND REPLACE ASPHALT IN ROAD. SAW CUTS TO BE STRAIGHT LINES AND NO OPEN TRENCHES ARE TO BE LEFT UNATTENDED.
- 03 SAW CUT AND REMOVE CURB AND GUTTER FOR WATER LINE PLACEMENT. PORTIONS OF CURB AND GUTTER TO BE REPLACED PER SITE PLAN (C400).
- 04 EXISTING STORM WATER INLET TO BE MOVED OUT OF WALKWAY AREA (BETWEEN TBC AND 6' OFF TBC) PER UTILITY PLAN (C600).
- 05 EXISTING WATER METER TO BE MOVED OUT OF WALKWAY AREA (BETWEEN TBC AND 6' OFF TBC). WATER SERVICE TO BE PROTECTED DURING CONSTRUCTION.
- 06 EXISTING WATER LINE FOR FIRE SUPPRESSION TO REMAIN AND BE PROTECTED DURING CONSTRUCTION.
- 07 EXISTING SEWER LATERAL TO REMAIN AND BE PROTECTED DURING CONSTRUCTION.
- 08 EXISTING FIRE HYDRANT TO REMAIN AND BE PROTECTED DURING CONSTRUCTION. ALSO TO REMAIN VISIBLE AND AVAILABLE FOR USE IN CASE OF AN EMERGENCY.
- 09 EXISTING IRRIGATION METER TO REMAIN AND BE PROTECTED DURING CONSTRUCTION.
- 10 EXISTING GARBAGE RECEPTACLE TO REMAIN AND BE PROTECTED DURING CONSTRUCTION.
- 11 EXISTING ELECTRIC TRANSFORMER TO REMAIN AND BE PROTECTED DURING CONSTRUCTION.

Another fire hydrant is needed along the frontage the distance between the two hydrants is 604 feet. See 2018 IFC Appendix C for standard.

1470 South 600 West  
Woods Cross, UT 84010  
Phone 801.298.2236  
www.Entellus.com



**KNOWLTON  
GENERAL**  
70 N MAIN STREET  
BOUNTIFUL, UT 84010  
BRIAN KNOWLTON  
801-828-0756



**LOT 11 RENAISSANCE TOWNE CENTER  
PHASE 3 PLAT 1**

1791 S. RENAISSANCE TOWNE DRIVE  
LOCATED IN THE SW 1/4 OF SECTION 30, T.2N., R.1E., S.L.B.&M.  
BOUNTIFUL CITY, DAVIS COUNTY, UTAH

**REVISIONS**

DRAWN: JBC	2022-11-10
APPROVED: CC	2022-11-10
PROJECT #:	1185016
	1185016 SET.dwg

**C300**  
DEMOLITION PLAN

**Know what's below.  
Call 811 before you dig.**

**BLUE STAKES OF UTAH**  
UTILITY NOTIFICATION CENTER, INC.  
[www.bluestakes.org](http://www.bluestakes.org)  
1-800-662-4111

I:\1185016\prod\production\C\104\_Plan\_S01\1185016\_SET.dwg 2023-04-18 9:39:14 AM JARED COURT



**SYMBOL LEGEND**

(A-1)	ADA PARKING AREA & SIDEWALK RAMP PER DETAIL, SHEET C900
(A-2)	POLE MOUNTED ADA RESERVED PARKING SIGN PER DETAIL, SHEET C900
(A-3)	ADA SIDEWALK RAMP PER DETAIL, SHEET C900
(C-1)	PRIVATE ASPHALT SECTION PER DETAIL, SHEET C900
(C-2)	ADA ACCESSIBLE CURB CUT 24" RELEASE ROLL CURB PER DETAIL, SHEET C900
(C-3)	PRIVATE 36" CONCRETE WATERWAY PER DETAIL, SHEET C900
(C-4)	PRIVATE CONCRETE SIDEWALK PER DETAIL, SHEET C900
(C-5)	PRIVATE CONCRETE 24" RELEASE CURB AND GUTTER PER DETAIL, SHEET C900
(C-6)	PRIVATE CONCRETE PEDESTRIAN RAMP PER DETAIL, SHEET C900
(C-7)	PRIVATE CONCRETE PATIO AREA PER ARCHITECTURAL DESIGN
(C-8)	CURB PAINTED RED W/NO PARKING SIGN ALONG CURB IN FRONT OF NEW FIRE HYDRANT PER CITY STDS
(C-9)	PRIVATE 4'x4' GRATE FOR A TREE ISLAND W/BENCH PER ARCHITECTURAL DESIGN
(ST-1)	STAIRWAY W/NUMBER OF STEPS REQUIRED PER DETAIL, SHEET C900
(R-1)	MINOR ROCK RETAINING WALL PER DETAIL, SHEET C900
(R-2)	6' CONCRETE RETAINING WALL DESIGN BY OTHERS
(AR-1)	TOWNHOME TYPE 1 DESIGN REFER TO ARCHITECTURAL DRAWINGS
(AR-2)	TOWNHOME TYPE 2 DESIGN REFER TO ARCHITECTURAL DRAWINGS
(AR-3)	TOWNHOME TYPE 3 DESIGN REFER TO ARCHITECTURAL DRAWINGS
(AR-4)	COMMERCIAL BUILDING DESIGN REFER TO ARCHITECTURAL DRAWINGS
(E-1)	EXISTING ASPHALT PAVEMENT TO REMAIN
(E-2)	EXISTING CONCRETE CURB AND GUTTER TO REMAIN
(E-3)	EXISTING CITY SIDEWALK TO BE PROTECTED THROUGHOUT PROJECT
(E-4)	EXISTING CITY CURB AND GUTTER TO BE PROTECTED THROUGHOUT PROJECT
(E-5)	EXISTING GARBAGE RECEPTACLE TO REMAIN

ALL IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE RIGHT-OF-WAY OWNER'S STANDARDS AND SPECIFICATIONS.

**NOTE:**  
REMOVE AND REPLACE ANY SIDEWALK OR CURB AND GUTTER IN THE 1800 S. OR MAIN STREET RIGHT OF WAY THAT IS DAMAGED BY CONSTRUCTION. DOCUMENT THE CONDITION OF THE IMPROVEMENTS PRIOR TO THE START OF CONSTRUCTION. REMOVAL AND/OR REPLACEMENT REQUIRES A SEPARATE ENCROACHMENT PERMIT ISSUED BY THE BOUNTIFUL CITY ENGINEERING DEPARTMENT.

**ACCESSIBLE AREA CONSTRAINTS**

ALL ACCESSIBLE AREAS ARE TO MAINTAIN THE FOLLOWING MAXIMUM SLOPES AND TOLERANCES:

**ACCESSIBLE PARKING:**  
MAXIMUM SLOPE OF 1:48 (2%) THROUGHOUT.

**ACCESSIBLE ROUTE:**  
MINIMUM WIDTH OF 48". MAXIMUM SLOPE OF 1:20 (5%) ALONG THE ROUTE, MAXIMUM CROSS-SLOPE OF 1:48 (2%).

**ACCESS ROUTE TURNAROUNDS:**  
A CLEAR 60" TURNING DIAMETER. MAXIMUM SLOPE OF 1:48 (2%) IN ANY DIRECTION.

**LEVEL LANDING / EXTERIOR DOOR LANDING:**  
MINIMUM SIZE OF 60"x60". MAXIMUM SLOPE OF 1:48 (2%) IN ANY DIRECTION.

**ACCESSIBLE EGRESS TO PUBLIC WAY:**  
MAXIMUM SLOPE OF 1:20 (5%) ALONG THE ROUTE, MAXIMUM CROSS-SLOPE OF 1:48 (2%).

**ADA ACCESS RAMP:**  
MAXIMUM SLOPE OF 1:12 (8.33%), WITH A MAXIMUM CROSS-SLOPE OF 2%. THE TRANSITION BETWEEN ASPHALT AND CONCRETE IS NOT TO EXCEED 1/2" VERTICAL (1/4" IF BEVELED).

**Know what's below.  
Call 811 before you dig.**

**BLUE STAKES OF UTAH**  
UTILITY NOTIFICATION CENTER, INC.  
www.bluestakes.org  
1-800-662-4111

1470 South 600 West  
Woods Cross, UT 84010  
Phone 801.298.2236  
www.Entellus.com

**Entellus**

**KNOWLTON GENERAL**  
70 N MAIN STREET  
BOUNTIFUL, UT 84010  
BRIAN KNOWLTON  
801-828-0756

**OWNER AND DEVELOPER**



**LOT 11 RENAISSANCE TOWNE CENTER  
PHASE 3 PLAT 1**

1791 S. RENAISSANCE TOWNE DRIVE  
BOUNTIFUL CITY, DAVIS COUNTY, UTAH

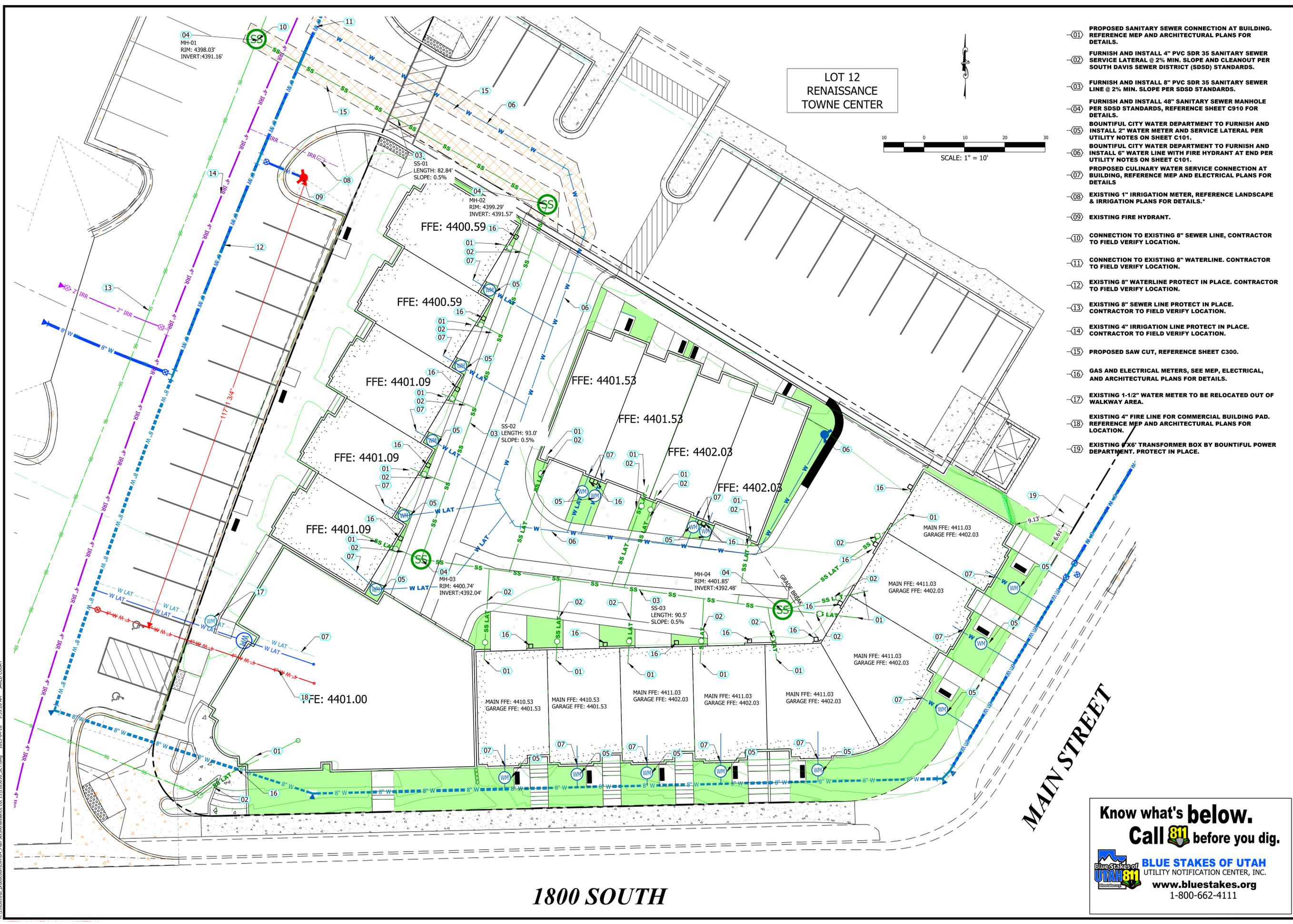
**REVISIONS**


DRAWN: JBC 2022-11-10  
APPROVED: CC 2022-11-10  
PROJECT #: 1185016  
1185016 SET.dwg

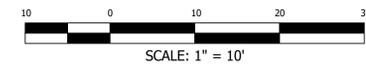
**C400**  
SITE PLAN

I:\1185016\prod\production\C\1104\_Plan\_Sets\Renaissance Lot 11\1185016\_SET.dwg 2023-04-18 9:39:19 AM JARED COURT





LOT 12  
RENAISSANCE  
TOWNE CENTER



- 01 PROPOSED SANITARY SEWER CONNECTION AT BUILDING. REFERENCE MEP AND ARCHITECTURAL PLANS FOR DETAILS.
- 02 FURNISH AND INSTALL 4" PVC SDR 35 SANITARY SEWER SERVICE LATERAL @ 2% MIN. SLOPE AND CLEANOUT PER SOUTH DAVIS SEWER DISTRICT (SDSD) STANDARDS.
- 03 FURNISH AND INSTALL 8" PVC SDR 35 SANITARY SEWER LINE @ 2% MIN. SLOPE PER SDSD STANDARDS.
- 04 FURNISH AND INSTALL 48" SANITARY SEWER MANHOLE PER SDSD STANDARDS, REFERENCE SHEET C910 FOR DETAILS.
- 05 BOUNTIFUL CITY WATER DEPARTMENT TO FURNISH AND INSTALL 2" WATER METER AND SERVICE LATERAL PER UTILITY NOTES ON SHEET C101.
- 06 BOUNTIFUL CITY WATER DEPARTMENT TO FURNISH AND INSTALL 6" WATER LINE WITH FIRE HYDRANT AT END PER UTILITY NOTES ON SHEET C101.
- 07 PROPOSED CULINARY WATER SERVICE CONNECTION AT BUILDING, REFERENCE MEP AND ELECTRICAL PLANS FOR DETAILS
- 08 EXISTING 1" IRRIGATION METER, REFERENCE LANDSCAPE & IRRIGATION PLANS FOR DETAILS.
- 09 EXISTING FIRE HYDRANT.
- 10 CONNECTION TO EXISTING 8" SEWER LINE, CONTRACTOR TO FIELD VERIFY LOCATION.
- 11 CONNECTION TO EXISTING 8" WATERLINE. CONTRACTOR TO FIELD VERIFY LOCATION.
- 12 EXISTING 8" WATERLINE PROTECT IN PLACE. CONTRACTOR TO FIELD VERIFY LOCATION.
- 13 EXISTING 8" SEWER LINE PROTECT IN PLACE. CONTRACTOR TO FIELD VERIFY LOCATION.
- 14 EXISTING 4" IRRIGATION LINE PROTECT IN PLACE. CONTRACTOR TO FIELD VERIFY LOCATION.
- 15 PROPOSED SAW CUT, REFERENCE SHEET C300.
- 16 GAS AND ELECTRICAL METERS, SEE MEP, ELECTRICAL, AND ARCHITECTURAL PLANS FOR DETAILS.
- 17 EXISTING 1-1/2" WATER METER TO BE RELOCATED OUT OF WALKWAY AREA.
- 18 EXISTING 4" FIRE LINE FOR COMMERCIAL BUILDING PAD. REFERENCE MEP AND ARCHITECTURAL PLANS FOR LOCATION.
- 19 EXISTING 6X6" TRANSFORMER BOX BY BOUNTIFUL POWER DEPARTMENT. PROTECT IN PLACE.

1470 South 600 West  
Woods Cross, UT 84010  
Phone 801.298.2236  
www.Entellus.com



**KNOWLTON  
GENERAL**  
70 N MAIN STREET  
BOUNTIFUL, UT 84010  
BRIAN KNOWLTON  
801-828-0756

**OWNER AND  
DEVELOPER**



**LOT 11 RENAISSANCE TOWNE CENTER  
PHASE 3 PLAT 1**

1791 S. RENAISSANCE TOWNE DRIVE  
LOCATED IN THE SW 1/4 OF SECTION 30, T.2N., R.1E., S.L.B.&M.  
BOUNTIFUL CITY, DAVIS COUNTY, UTAH

REVISIONS

**Know what's below.  
Call 811 before you dig.**

**BLUE STAKES OF UTAH**  
UTILITY NOTIFICATION CENTER, INC.  
www.bluestakes.org  
1-800-662-4111

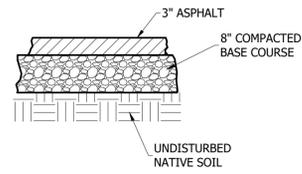
DRAWN: JBC 2022-11-10  
APPROVED: CC 2022-11-10  
PROJECT #: 1185016  
1185016 SET.dwg

**C600**  
UTILITY PLAN

I:\1185016\production\C600\_Plan\_Sets\Renaissance Lot 11\1185016\_SET.dwg 2023-04-18 9:39:28 AM JARED COURT

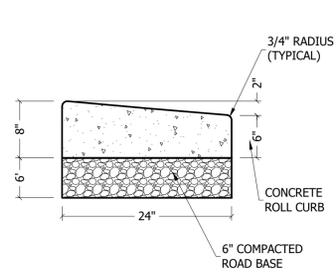


- NOTES
- ROAD BASE IS TO BE COMPACTED PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS. IF NO SUCH RECOMMENDATIONS PERTAIN, COMPACT TO 95% AASHTO T-180 METHOD D.
  - PLACE MATERIAL PER APWA SECTION 32 05 10.



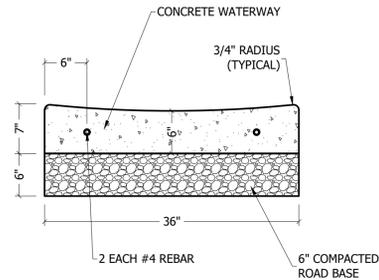
**PRIVATE ASPHALT SECTION**  
C-1  
C400 TYPICAL  
N.T.S.

- NOTES
- ROAD BASE IS TO BE COMPACTED PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS. IF NO SUCH RECOMMENDATIONS PERTAIN, COMPACT TO 95% AASHTO T-180 METHOD D.
  - CONCRETE IS TO BE 4,000 PSI TEST.
  - CONTROL JOINTS AT 10' INTERVALS.
  - BITUMINOUS MATERIAL EXPANSION JOINTS ARE REQUIRED AT 50' INTERVALS.



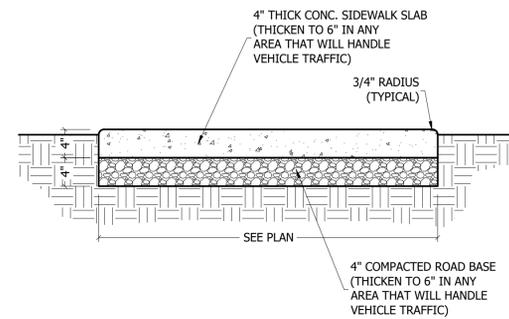
**ADA ACCESSIBLE CURB CUT 24" RELEASE ROLL CURB**  
C-2  
C400 TYPICAL  
N.T.S.

- NOTES
- ROAD BASE IS TO BE COMPACTED PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS. IF NO SUCH RECOMMENDATIONS PERTAIN, COMPACT TO 95% AASHTO T-180 METHOD D.
  - CONCRETE IS TO BE 4,000 PSI TEST.
  - CONTROL JOINTS AT 10' INTERVALS.
  - BITUMINOUS MATERIAL EXPANSION JOINTS ARE REQUIRED AT 50' INTERVALS.
  - STEEL REINFORCEMENT IS TO BE DEFORMED GRADE 60 STEEL, GALVANIZED OR EPOXY COATED.



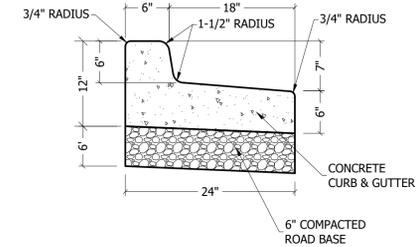
**PRIVATE 36" CONCRETE WATERWAY**  
C-3  
C400 TYPICAL  
N.T.S.

- NOTES
- ROAD BASE IS TO BE COMPACTED PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS. IF NO SUCH RECOMMENDATIONS PERTAIN, COMPACT TO 95% AASHTO T-180 METHOD D.
  - CONCRETE IS TO BE 4,000 PSI TEST.
  - CONTROL JOINTS AT 5' INTERVALS.
  - BITUMINOUS MATERIAL EXPANSION JOINTS ARE REQUIRED AT 50' INTERVALS.

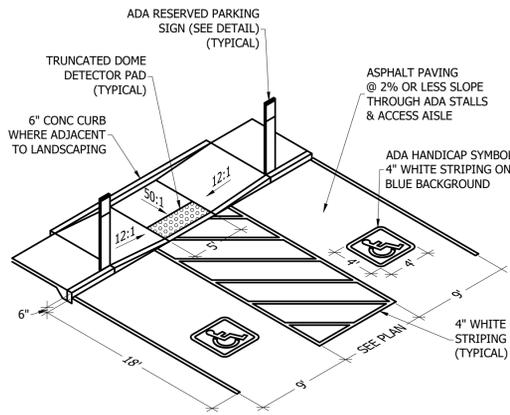


**PRIVATE CONCRETE SIDEWALK**  
C-4  
C400 TYPICAL  
N.T.S.

- NOTES
- ROAD BASE IS TO BE COMPACTED PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS. IF NO SUCH RECOMMENDATIONS PERTAIN, COMPACT TO 95% AASHTO T-180 METHOD D.
  - CONCRETE IS TO BE 4,000 PSI TEST.
  - CONTROL JOINTS AT 10' INTERVALS.
  - BITUMINOUS MATERIAL EXPANSION JOINTS ARE REQUIRED AT 50' INTERVALS.

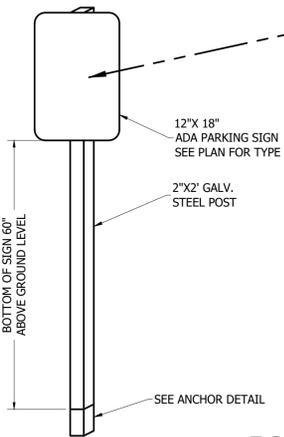


**PRIVATE 24" RELEASE CURB & GUTTER**  
C-5  
C400 TYPICAL  
N.T.S.

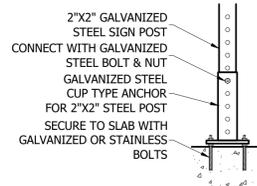
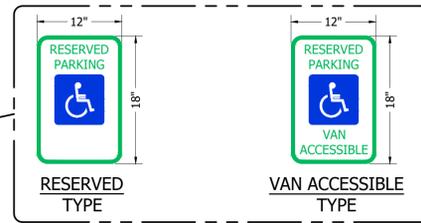


**ADA ACCESSIBLE PARKING & RAMPS**  
A-1  
C400 TYPICAL  
N.T.S.

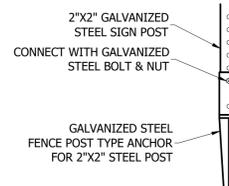
- NOTES
- SIGN IS TO BE REFLECTIVE MATERIAL ON AN ALUMINUM BACKING PLATE.
  - WHITE ADA SYMBOL ON A BLUE SQUARE.
  - WHITE BACKGROUND.
  - LETTERING IS TO BE BLUE OR GREEN



**POLE-MOUNTED SIGN**



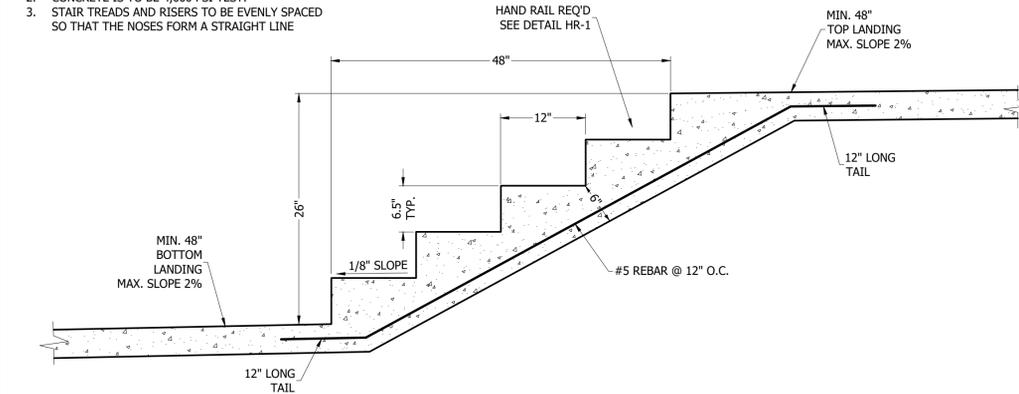
**CONCRETE SLAB ANCHOR TYPE**



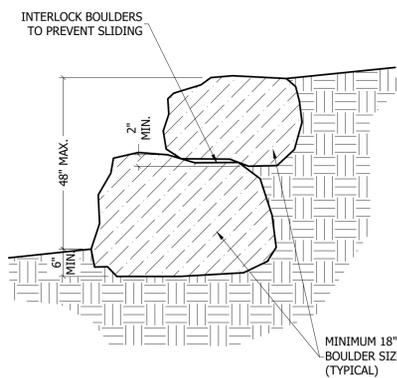
**LANDSCAPE ANCHOR TYPE**

**POLE-MOUNTED ADA RESERVED PARKING SIGN**  
A-2  
C400 TYPICAL  
N.T.S.

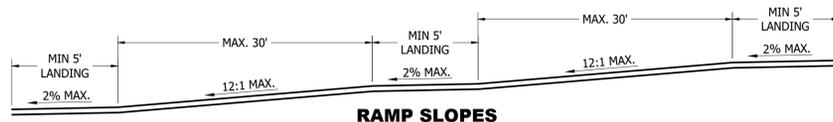
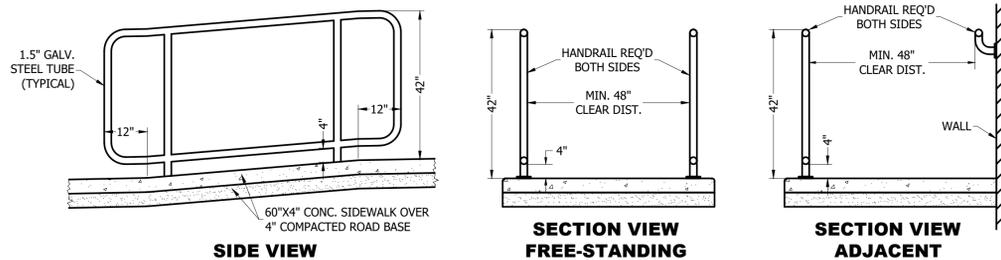
- NOTES
- ROAD BASE IS TO BE COMPACTED PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS. IF NO SUCH RECOMMENDATIONS PERTAIN, COMPACT TO 95% AASHTO T-180 METHOD D.
  - CONCRETE IS TO BE 4,000 PSI TEST.
  - STAIR TREADS AND RISERS TO BE EVENLY SPACED SO THAT THE NOSES FORM A STRAIGHT LINE



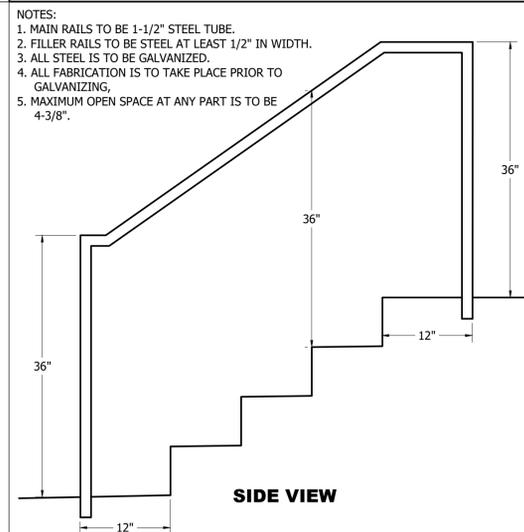
**STAIRWAY 2**  
ST-1  
C400 TYPICAL  
N.T.S.



**MINOR ROCK RETAINING WALL**  
R-1  
C400 TYPICAL  
N.T.S.



**ADA SIDEWALK RAMP**  
A-3  
C400 TYPICAL  
N.T.S.



**HAND RAIL FOR STAIRS**  
HR-1  
C400 TYPICAL  
SCALE 1" = 1'

1-470 South 600 West  
Woods Cross, UT 84010  
Phone 801.298.2236  
www.Entellus.com



**KNOWLTON GENERAL**  
70 N MAIN STREET  
BOUNTIFUL, UT 84010  
BRIAN KNOWLTON  
801-828-0756



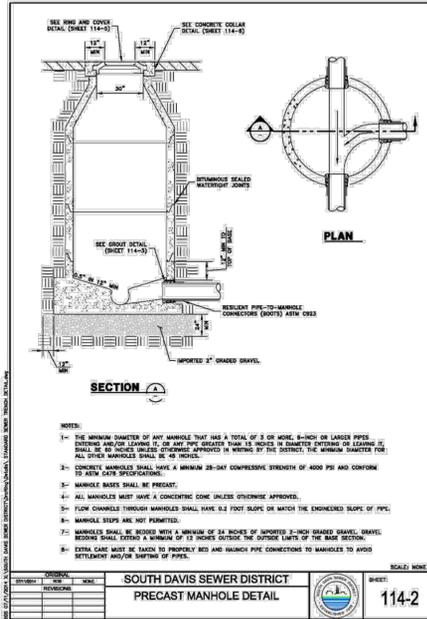
**LOT 11 RENAISSANCE TOWNE CENTER  
PHASE 3 PLAT 1**

1791 S. RENAISSANCE TOWNE DRIVE  
BOUNTIFUL CITY, DAVIS COUNTY, UTAH

REVISIONS

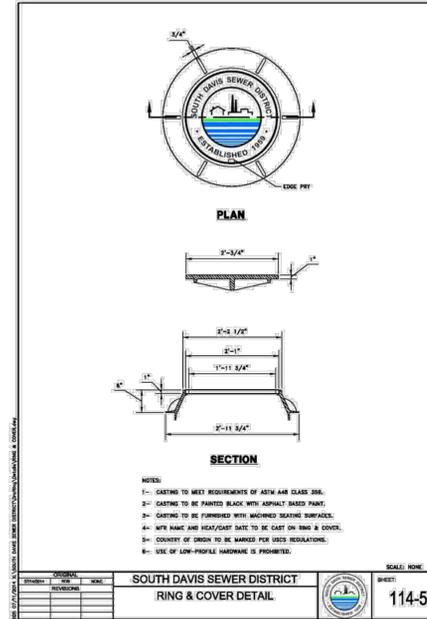
DRAWN: JBC 2022-11-10  
APPROVED: CC 2022-11-10  
PROJECT #: 1185016  
1185016 SET.dwg

**C900**  
SITE DETAILS



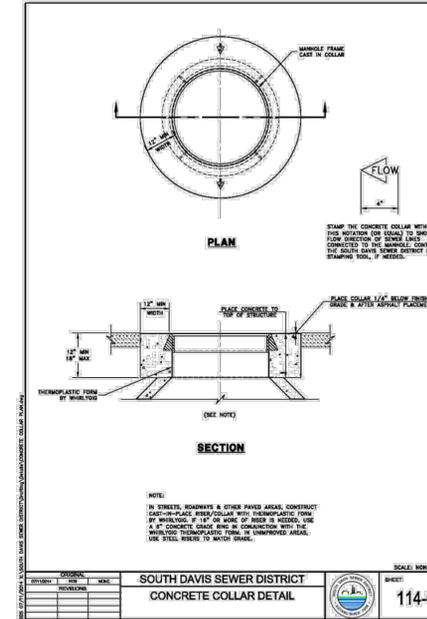
**SOUTH DAVIS SEWER DISTRICT  
PRECAST MANHOLE DETAIL**

114-2



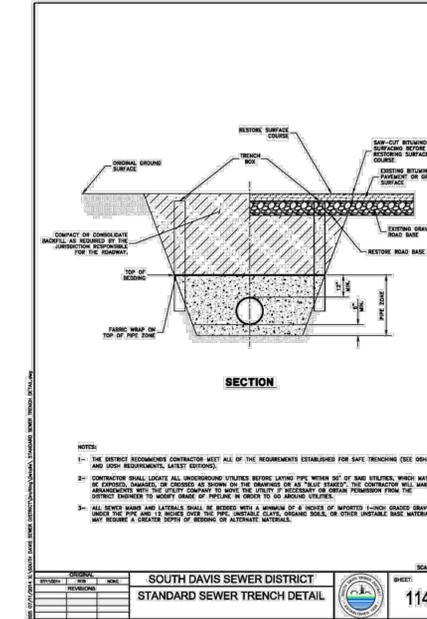
**SOUTH DAVIS SEWER DISTRICT  
RING & COVER DETAIL**

114-5



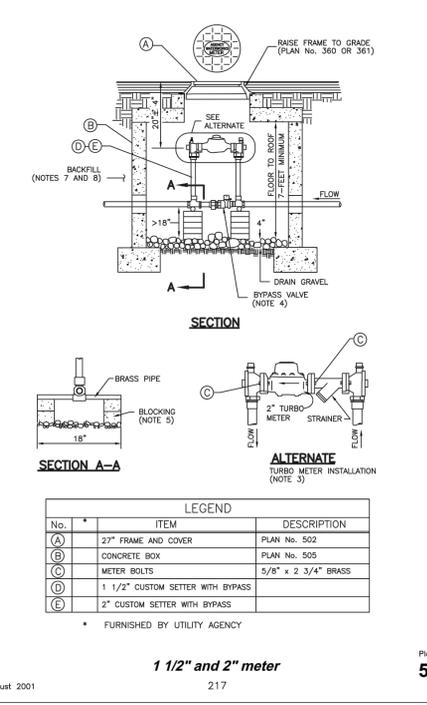
**SOUTH DAVIS SEWER DISTRICT  
CONCRETE COLLAR DETAIL**

114-6



**SOUTH DAVIS SEWER DISTRICT  
STANDARD SEWER TRENCH DETAIL**

114-1



**1 1/2" and 2" meter**

522

1-470 South 600 West  
Woods Cross, UT 84010  
Phone 801.298.2236  
www.Entellus.com

**KNOWLTON  
GENERAL** OWNER AND DEVELOPER  
70 N MAIN STREET  
BRIAN KNOWLTON  
801-828-0756



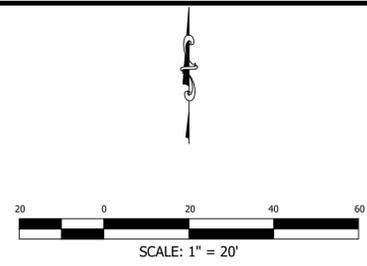
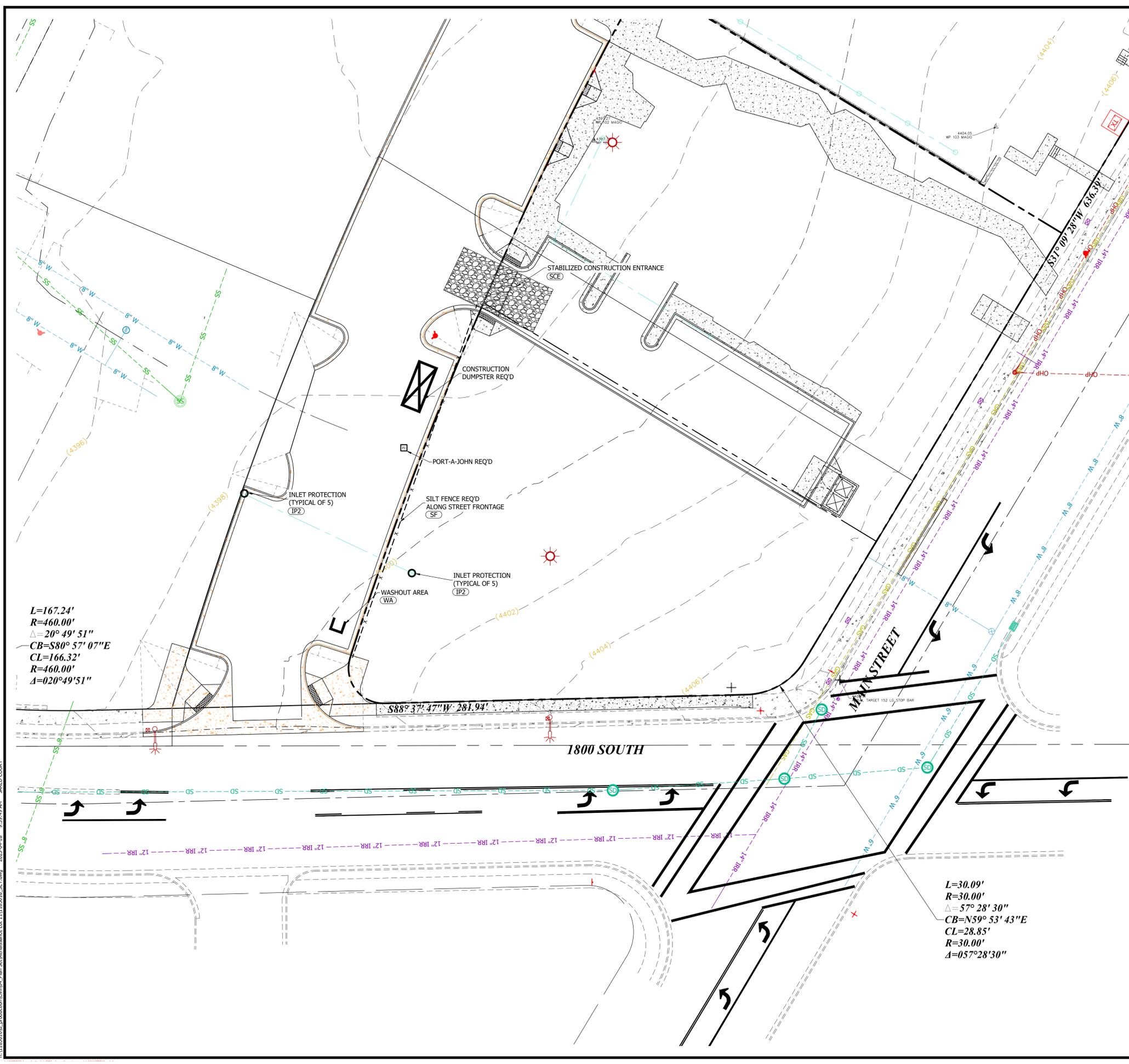
**LOT 11 RENAISSANCE TOWNE CENTER  
PHASE 3 PLAT 1**  
1791 S. RENAISSANCE TOWNE DRIVE  
LOCATED IN THE SW 1/4 OF SECTION 30, T.2N., R.1E., S.L.B.&M.  
BOUNTIFUL CITY, DAVIS COUNTY, UTAH

**REVISIONS**

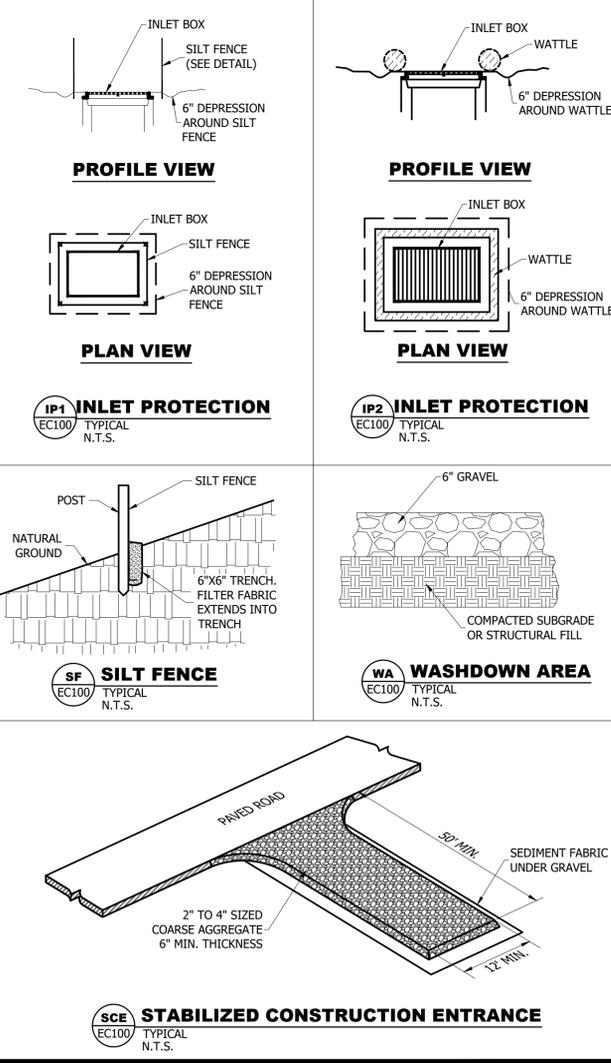
No.	DATE	DESCRIPTION

DRAWN: JBC 2022-11-10  
APPROVED: CC 2022-11-10  
PROJECT #: 1185016  
1185016 SET.dwg

**C910**  
UTILITY DETAILS



- ### CONSTRUCTION NOTES
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY LOCAL, STATE, AND FEDERAL PERMITS PRIOR TO COMMENCING CONSTRUCTION. A BUILDING PERMIT WILL NOT BE ISSUED UNTIL AN INSPECTION BY THE BOUNTIFUL ENGINEERING DEPT. HAS BEEN COMPLETED WHICH VERIFIES THE INSTALLATION OF REQUIRED BMPs ON THE PROJECT SITE.
  2. CONTRACTOR TO MAINTAIN A COPY OF THE SWPPP ON SITE.
  3. CONTRACTOR TO INSPECT SITE TO ENSURE THE SWPPP IMPROVEMENTS ARE IN PLACE AND FUNCTIONAL.
  4. CONTRACTOR TO MAINTAIN TEMPORARY EROSION AND SEDIMENT CONTROLS AND HOUSEKEEPING MEASURES.
  5. ALL SOLID WASTE SHALL BE STORED IN A SECURELY LIDDED METAL DUMPSTER. THE DUMPSTER SHALL MEET ALL STATE AND LOCAL WASTE MANAGEMENT REGULATIONS.
  6. ALL HAZARDOUS WASTE SHALL BE DISPOSED OF IN THE MANNER AS SPECIFIED BY THE MANUFACTURER AND STATE AND LOCAL REGULATIONS.
  7. A WASHOUT AREA SHALL BE CONSTRUCTED FOR THE TEMPORARY COLLECTION OF EXCESS CONCRETE AND NON-STORM WATER DISCHARGES FROM VEHICLE WASHING. THE CONCRETE WILL BE TAKEN TO THE CITY LANDFILL WITHIN 1 WEEK OF PLACING IN THE WASHOUT AREA.
  8. A STABILIZED CONSTRUCTION ENTRANCE WILL BE CONSTRUCTED TO REDUCE VEHICLE TRACKING OF SEDIMENTS ONTO PUBLIC RIGHT OF WAYS. THE PAVED STREET ADJACENT TO THE SITE ENTRANCE WILL BE SWEEPED DAILY TO REMOVE EXCESS DIRT.
  9. INSPECTION SHALL BE MADE MONTHLY AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. ALL NON-STORM WATER FLOWS SHALL BE DIRECTED TOWARD THE WASHOUT AREA OR SEDIMENT BASIN. THE SWPPP WILL BE REVISED AS SITE CONDITIONS AND PROJECT WARRANTS.
  10. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING AND SWEEPING PUBLIC STREETS ON A DAILY BASIS, OR MORE IF NECESSARY.
  11. CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ADEQUATE DUST CONTROL THROUGHOUT THE COURSE OF THE PROJECT.



1470 South 600 West  
Woods Cross, UT 84010  
Phone 801.298.2236  
www.Entellus.com

**KNOWLTON GENERAL**  
70 N MAIN STREET  
BOUNTIFUL, UT 84010  
BRIAN KNOWLTON  
801-828-0756

**OWNER AND DEVELOPER**



**LOT 11 RENAISSANCE TOWNE CENTER  
PHASE 3 PLAT 1**

1791 S. RENAISSANCE TOWNE DRIVE  
LOCATED IN THE SW 1/4 OF SECTION 30, T.2N., R.1E., S.L.B.&M.  
BOUNTIFUL CITY, DAVIS COUNTY, UTAH

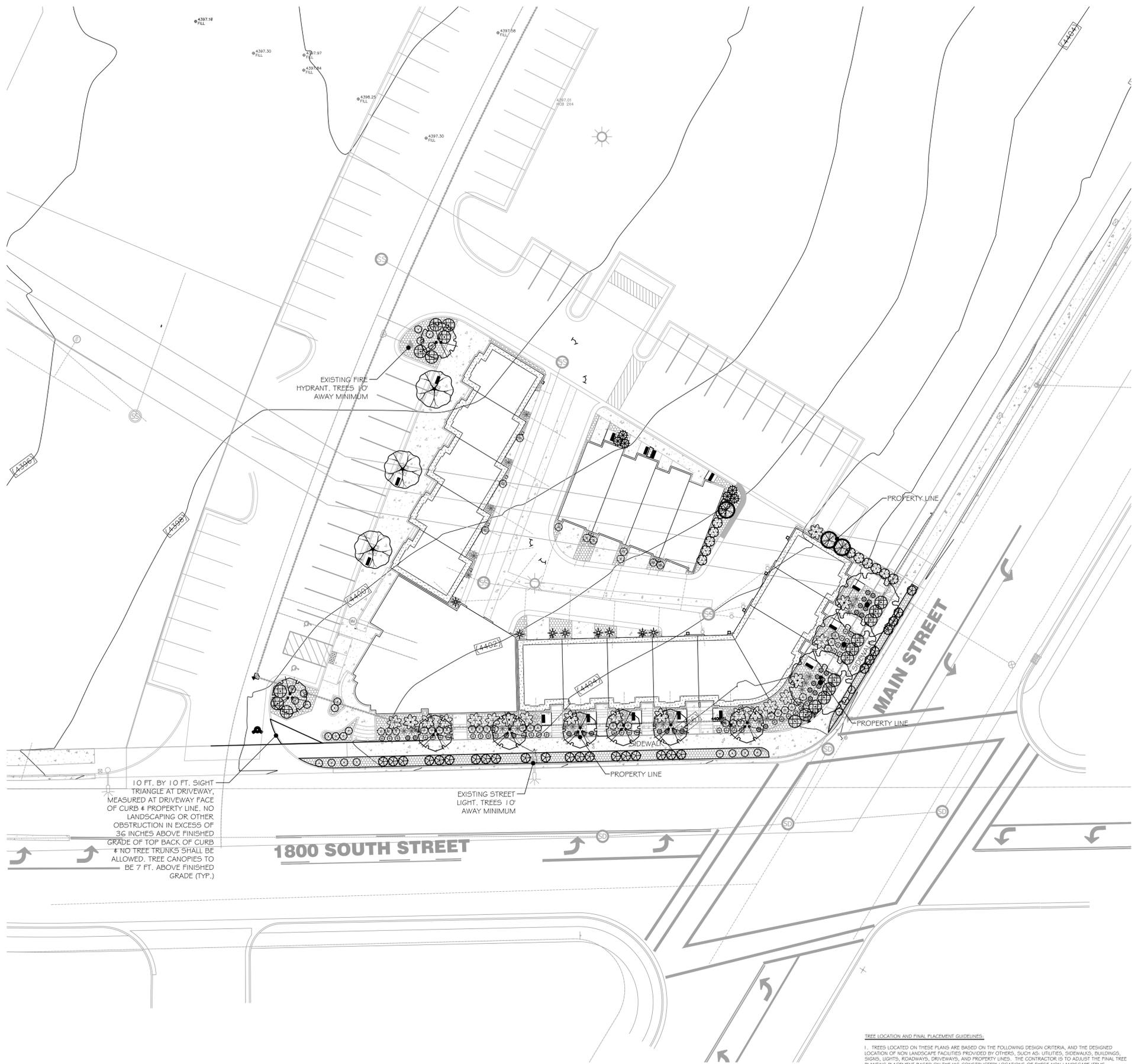
**REVISIONS**


DRAWN: JBC 2022-11-10  
APPROVED: CC 2022-11-10  
PROJECT #: 1185016  
1185016 SET.dwg

**EC100**  
EROSION CONTROL

I:\1185016\1185016\_1185016\_Plat\_Spl\1185016.SET.dwg 2023-04-18 9:39:49 AM JARED COURT

This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Foresite Design Group, LC shall be without liability to Foresite Design Group, LC.



**PLANT SCHEDULE PROJECT AREA**

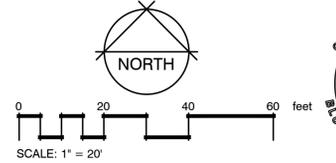
TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
	Acer ginnala 'Flame' / Flame Amur Maple Hydro Zone Td4 - Use Multi Trunk	15 gal			1
	Acer tataricum / Tatanan Maple Hydro Zone Td3	B # B	2'Cal		7
	Gleditsia triacanthos 'Skyline' / Skyline Honey Locust Hydro Zone Td4	B # B	2'Cal		3
	Pinus nigra 'Arnold Sentinel' / Arnold Sentinel Austrian Black Pine Hydro Zone I - Evergreen	B # B		6'	3
	Pyrus calleryana 'Jack' / Jack Flowering Pear Hydro Zone Td4	B # B	2'Cal		3
SHRUBS	BOTANICAL / COMMON NAME	CONT			
	Berberis thunbergii 'Bagatelle' / Bagatelle Red Barberry Hydro Zone 5d3	2 gal	31		
	Calamagrostis x acutiflora 'Avalanche' / Feather Reed Grass Hydro Zone Tw2	5 gal	8		
	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass Hydro Zone Tw2	5 gal	10		
	Festuca ovina glauca / Blue Sheep Fescue Hydro Zone Tw1	2 gal	37		
	Helictotrichon sempervirens / Blue Oat Grass Hydro Zone Tw1	1 gal	25		
	Hemerocallis x 'Stella de Oro' / Stella de Oro Daylily Hydro Zone P3	1 gal	29		
	Juniperus horizontalis 'Bar Harbor' / Bar Harbor Creeping Juniper Hydro Zone GV1 - Evergreen	5 gal	20		
	Mahonia aquifolium 'Compacta' / Compact Oregon Grape Hydro Zone 5e3 - Evergreen	5 gal	6		
	Miscanthus sinensis 'Gracillimus' / Maiden Grass Hydro Zone Tw2	5 gal	8		
	Miscanthus sinensis 'Purpureus' / Flame Grass Hydro Zone 2	5 gal	11		
	Pennisetum alopecuroides 'Little Bunny' / Little Bunny Fountain Grass Hydro Zone Tw2	2 gal	26		
	Rhus aromatica 'Autumn Amber' / Autumn Amber Sumac Hydro Zone GV1	5 gal	27		
	Spiraea japonica 'Neon Flash' / Neon Flash Spirea Hydro Zone 5d3	5 gal	13		

**MULCHES / ROCK**  
 3" MINIMUM DEPTH OF 1" TO 2-1/2" OF "SOUTH TOWN COBBLE" DECORATIVE ROCK (BROWNS & REDS) OVER DEWITT PRO 5 WEED BARRIER. ROCK NOT TO EXCEED HEIGHT OF SIDEWALK NOR THE TOP BACK OF CURB. 4,548 S.F.

- NOTES:**
- SEE SHEET L-2 FOR LANDSCAPE NOTES AND DETAILS.
  - LANDSCAPE MATERIAL SQUARE FOOTAGES AND PLANT QUANTITIES FOR REFERENCE ONLY. CONTRACTOR TO VERIFY ALL QUANTITIES AND SQUARE FOOTAGES.
  - SIGHT TRIANGLES AT ACCESS DRIVES ARE LOCATED PER AVENUE CONSULTANTS. STREET TREE BRANCHES TO BE MAINTAINED AT A MIN. DISTANCE OF 7 FT FROM FINISHED GRADE.
  - IRRIGATION SYSTEM IS EQUIPPED WITH A SMART ET BASED CONTROLLER AND RAIN SENSOR AS PART OF THE SPRINKLER SYSTEM.
  - ROCK MULCHES TO COMPLEMENT & BLEND WITH ARCHITECTURAL MATERIALS AND COLORS. CONTRACTOR TO SUBMIT SAMPLES TO OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO DELIVERY.
  - SHADE TREES ARE TO BE A MINIMUM OF 2" CALIPER (MEASURED SIX INCHES ABOVE THE ROOT BALL) AT TIME OF PLANTING.
  - ORNAMENTAL TREES ARE TO BE A MINIMUM OF 1-1/2" CALIPER (MEASURED SIX INCHES ABOVE THE ROOT BALL) AT TIME OF PLANTING.
  - EVERGREEN TREES ARE TO BE A MINIMUM OF SIX FEET TALL AT TIME OF PLANTING.
  - DECIDUOUS AND EVERGREEN SHRUBS ARE TO BE A MINIMUM HEIGHT OF 18" AT THE TIME OF PLANTING. GENERALLY A 5 GALLON CONTAINER MEETS THIS REQUIREMENT. THE CONTRACTOR CAN ADJUST THE SIZE OF THE CONTAINER AS LONG AS THE HEIGHT REQUIREMENT IS MET AT THE TIME OF PLANTING.
  - CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT IF ANY SITE CONSTRUCTION AREAS (OTHER THAN RETAINING WALL AREA IDENTIFIED ON THE PLAN) CONSIST OF SLOPES STEEPER THAN 2H:1V (2 FEET HORIZONTAL # 1 FOOT VERTICAL).

LANDSCAPE CALCULATIONS SUMMARY  
 ON SITE LANDSCAPE PROVIDED (REFER TO ARCHITECTURAL PLANS OR CIVIL PLANS)  
 3,189 S.F.  
 TOTAL PROJECT LANDSCAPING (INCLUDING AREAS IN ROAD R.O.W.)  
 4,548 S.F.  
 TOTAL LANDSCAPE AREA IN TURF GRASS - EXISTING TO REMAIN (INCLUDING ROAD R.O.W.)  
 0 S.F. 0.00% OF LANDSCAPE  
 TOTAL AREA IN DROUGHT TOLERANT LANDSCAPE (INCLUDING R.O.W.)  
 4,548 S.F. 100.00% OF LANDSCAPE  
 PERCENT OF LANDSCAPE PLANT MATERIAL AREA VALUE COVERAGE (EXCLUDES TURF GRASS)  
 183.52% BASED ON "WATER-WISE PLANTS FOR SLC", WITH TREES CALC.  
 68.44% BASED ON "WATER-WISE PLANTS FOR SLC", WITHOUT TREES CALC.  
 PERCENT OF DROUGHT TOLERANT PLANTS (EXCLUDES TURF GRASS)  
 92.57% BASED ON CITY WATER CONSERVING PLANT LIST  
 PERCENT OF LANDSCAPE AREA OF LIVE PLANT COVERAGE (INCLUDES TURF GRASS)  
 183.52% WITH TREES CALCULATED  
 68.44% WITHOUT TREES CALCULATED (40% REQUIRED)  
 REQUIRED SITE TREES (1 TREE PER EVERY 750 SQ. FT. OF SITE LANDSCAPE AREA)  
 4.3 TREES 3,189 FT DIV. BY 750  
 PROVIDED TREES  
 8 TREES  
 REQUIRED SITE SHRUBS (1 SHRUB PER EVERY 200 SQ. FT. OF SITE LANDSCAPE AREA)  
 15.9 TREES 3,189 FT DIV. BY 200  
 PROVIDED SITE SHRUBS  
 155 SHRUBS (INCLUDES GRASSES & GROUND COVERS)  
 REQUIRED MAIN STREET TREES  
 2.0 TREES 70 FT DIV. BY 35  
 PROVIDED MAIN STREET TREES  
 3 TREES  
 REQUIRED 1800 SOUTH STREET TREES  
 6.5 TREES 226 FT DIV. BY 35  
 PROVIDED 1800 SOUTH STREET TREES  
 6 TREES

- TREE LOCATION AND FINAL PLACEMENT GUIDELINES:**
- TREES LOCATED ON THESE PLANS ARE BASED ON THE FOLLOWING DESIGN CRITERIA, AND THE DESIGNED LOCATION OF NON LANDSCAPE FACILITIES PROVIDED BY OTHERS, SUCH AS: UTILITIES, SIDEWALKS, BUILDINGS, SIGNS, LIGHTS, ROADWAYS, DRIVEWAYS, AND PROPERTY LINES. THE CONTRACTOR IS TO ADJUST THE FINAL TREE PLANTING PLACEMENT BASED ON THE "AS CONSTRUCTED" LOCATIONS OF THESE NON LANDSCAPE ITEMS.
  - 10 FEET FROM FIRE HYDRANT.
  - 5-10 FEET FROM RESIDENTIAL DRIVEWAY.
  - 5-10 FEET FROM PROPERTY LINE OF ADJOINING PARCEL.
  - 5-10 FEET FROM NON-TRAFFIC CONDUCTING SIGNAGE.
  - 5-10 FEET FROM UTILITY POLE AND/OR LIGHT.
  - 20 FEET FROM AN UNREGULATED INTERSECTION (20 FEET BACK FROM INTERSECTING SIDEWALKS).
  - 30 FEET FROM STOP SIGNS.
  - 30 FEET FROM COMMERCIAL DRIVEWAY AND/OR ALLEY.
  - 40 FEET FROM AN INTERSECTION WITH TRAFFIC LIGHTS (40 FEET BACK FROM INTERSECTING SIDEWALKS).
  - 15-20 FEET FROM A TREE THAT IS SMALL IN SIZE AT MATURITY (LESS THAN 30 FEET TALL).
  - 20-30 FEET FROM A TREE THAT IS MEDIUM IN SIZE AT MATURITY (30-50 FEET TALL).
  - 30-40 FEET FROM A TREE THAT IS LARGE IN SIZE AT MATURITY (MORE THAN 50 FEET TALL).



NO.	REVISIONS	DATE
1	PER SITE PLAN CHANGES & COMMENTS	4/14/23

**PLANNING, LANDSCAPE ARCHITECTURE & SITE DESIGN SERVICES**  
 FORESITE DESIGN GROUP, L.C.  
 1701 S. RENAISSANCE TOWNE DRIVE  
 SALT LAKE CITY, UT 84143  
 PHONE: 801.841.7464  
 WWW.FORESITEDESIGNGROUP.COM



**LOT 11 RENAISSANCE TOWNE CENTER LANDSCAPE PLAN**  
 1701 S. RENAISSANCE TOWNE DRIVE BOUNTIFUL, UTAH



SHEET: **L-1**  
 FILE NAME: FDG-281 SCALE: 1" = 20'

**PLANTING NOTES:**

1. LANDSCAPE BIDS MUST BE IN A DETAILED UNIT PRICE FORMAT SHOWING COST BREAKDOWN OF ALL LANDSCAPE ELEMENTS. ANY ELEMENT MAY BE ADDED OR DELETED BY THE LANDSCAPE ARCHITECT OR OWNER. CONTRACTOR COMPENSATION WILL BE ADJUSTED ACCORDING TO THE UNIT PRICE BIDS. ANY SUBSTITUTION MUST BE BY LANDSCAPE ARCHITECT APPROVAL. LANDSCAPE ARCHITECT OR OWNER WITHOUT JUSTIFICATION MAY DISALLOW BIDS AND SELECT CONTRACTOR REGARDLESS OF BID FIGURES. THE SELECTED CONTRACTOR MUST CONTACT THE OWNER'S CONSTRUCTION REPRESENTATIVE BEFORE BEGINNING CONSTRUCTION TO SCHEDULE A PRE CONSTRUCTION MEETING. CONTRACTOR OR SUBCONTRACTORS PARTICIPATION IN CONSTRUCTION OF THIS PLAN MUST BE LICENSED BY THE STATE OF UTAH FOR THE TYPE OF WORK BEING PERFORMED.

2. CODES, LAWS, REGULATIONS, AND PERMITS BY FEDERAL, STATE, COUNTY AND CITY AGENCIES FOR DESIGN CONCEPT, MATERIALS AND WORKMANSHIP MUST BE RESEARCHED AND SATISFIED BY THE CONTRACTOR. REPORT ANY PROBLEMS OR REQUIREMENTS TO THE LANDSCAPE ARCHITECT. THE CONTRACTOR MUST VERIFY THE REGULATIONS FOR AND SECURE ANY PERMITS BEFORE BEGINNING CONSTRUCTION. THE COST FOR THE PERMIT FEES MAY BE SUBMITTED TO THE OWNER FOR REIMBURSEMENT. CALL BLUE STAKES AND REFER TO DRAINAGE AND CIVIL PLANS BEFORE ANY TRENCHING OR EXCAVATION.

3. CONSTRUCTION SAFETY AND CLEANUP MUST MEET OSHA STANDARDS AT ALL TIMES. ALL CONTRACTORS MUST HAVE ADEQUATE LIABILITY, PERSONNEL INJURY AND PROPERTY DAMAGE INSURANCE. CLEAN UP MUST BE PERFORMED DAILY, AND ALL HARDSCAPE ELEMENTS MUST BE WASHED FREE OF DIRT AND MUD ON FINAL CLEAN UP. CONSTRUCTION MUST OCCUR IN A TIMELY MANNER.

4. LANDSCAPE PLANS AND DETAIL DRAWINGS ARE SCHEMATIC ONLY, DISCREPANCIES MAY EXIST, INCLUDING BUT NOT LIMITED TO BUILDING LOCATION, PROPERTY LINES, ANY DIMENSIONS SPECIFIED OR IMPLIED, THE CONTRACTOR WILL BE REQUIRED TO ADJUST PLANS AS NECESSARY TO RETAIN CONCEPT INTEGRITY. CONTACT LANDSCAPE ARCHITECT IF DISCREPANCIES EXIST.

5. PLANT MATERIAL EXCAVATION. CALL BLUE STAKE AND MAKE REFERENCE TO DRAINAGE AND CIVIL PLANS BEFORE EXCAVATION FOR PLANT MATERIAL. ALL HOLES MUST ALLOW FOR A MINIMUM OF TWELVE (12) INCHES OF SPECIFIED PLANTING MIX BACKFILL MATERIAL ON ALL SIDES OF ROOT BALL FOR SHRUBS, AND 3X BALL DIAMETER FOR TREES.

6. EXCEPT FOR TREES, PLANT MATERIAL BACKFILL MUST BE A WELL MIXED COMBINATION OF 1/3 NATIVE SOIL TAKEN FROM EXCAVATED PLANT PIT, 1/3 TOPSOIL, AND 1/3 ORGANIC COMPOSTED MATERIAL. DEEP WATER ALL PLANT MATERIAL IMMEDIATELY AFTER PLANTING. ADD BACKFILL MATERIAL TO DEPRESSIONS AS NECESSARY.

7. SOIL AMENDING SHALL INCLUDE COMPOSTED ORGANIC MATERIAL TO BE ADDED AT A RATE OF THREE CUBIC YARDS PER 1,000 SQUARE FEET, TILL INTO THE SUBGRADE SOIL PRIOR TO PLACING TOPSOIL. TILL AMENDMENTS IN TO A DEPTH OF 6". ALL SOD AREAS SHALL HAVE THE SOIL AMENDED.

8. TOP SOIL MUST BE A PREMIUM QUALITY DARK SANDY LOAM, FREE OF ROCKS, CLODS, ROOTS, AND PLANT MATTER. THE TOPSOIL SHALL BE EVENLY SPREAD AND SMOOTH GRADED ON A CAREFULLY PREPARED AMENDED SUBGRADE. TOPSOIL SHALL BE SPREAD TO A DEPTH OF FIVE INCHES (5") IN ALL SOD AND SHRUB AREAS.

9. SOD MUST BE PREMIUM QUALITY, ULTRA GREEN, EVENLY CUT, ESTABLISHED, HEALTHY, WEED AND DISEASE FREE, AND FROM AN APPROVED SOURCE. SOD MUST BE DELIVERED AND LAID IMMEDIATELY AFTER CUTTING. SOD MUST BE LAID WITH NO GAPS BETWEEN PIECES ON A CAREFULLY PREPARED TOPSOIL LAYER. THE LAID SOD MUST BE IMMEDIATELY WATERED AFTER INSTALLATION. ANY BURNED AREAS WILL REQUIRE REPLACEMENT. ADJUST SPRINKLER SYSTEM TO ASSURE HEALTHY GREEN SURVIVAL OF THE SOD WITHOUT WATER WASTE. TURF GRASS TO BE "CHANSHARE FARMS IMPERIAL BLUE" (OR EQUIVALENT) WHICH IS A "WATER-WISE TURF". INSTALL AND MAINTAIN PER GROWER'S SPECIFICATIONS.

**IRRIGATION REQUIREMENT NOTES:**

1. MULCH: AFTER COMPLETION OF ALL PLANTING, ALL IRRIGATED NON-TURF AREAS SHALL BE COVERED WITH A MINIMUM LAYER OF FOUR (4) INCHES OF MULCH TO RETAIN WATER, INHIBIT WEED GROWTH AND MODERATE SOIL TEMPERATURE. NON-POROUS MATERIAL SHALL NOT BE PLACED UNDER THE MULCH. 4" MULCH IN ALL IRRIGATED NON-TURF AREAS. IF ROCK MULCH, MINIMUM IS 3".

2. LANDSCAPE WATER METER: A WATER METER AND BACKFLOW PREVENTION ASSEMBLY THAT ARE IN COMPLIANCE WITH STATE CODE SHALL BE INSTALLED FOR LANDSCAPE IRRIGATION SYSTEMS, AND THE LANDSCAPE WATER METER AND BACKFLOW PREVENTION ASSEMBLY SHALL BE SEPARATE FROM THE WATER METER AND BACKFLOW PREVENTION ASSEMBLY INSTALLED FOR INDOOR USES. THE SIZE OF THE METER SHALL BE DETERMINED BASED ON IRRIGATION DEMAND.

3. PRESSURE REGULATION: A PRESSURE REGULATING VALVE SHALL BE INSTALLED AND MAINTAINED BY THE CONSUMER IF THE STATIC SERVICE PRESSURE EXCEEDS 80 POUNDS PER SQUARE INCH (PSI). THE PRESSURE-REGULATING VALVE SHALL BE LOCATED BETWEEN THE LANDSCAPE WATER METER AND THE FIRST POINT OF WATER USE, OR FIRST POINT OF DIVISION IN THE PIPE, AND SHALL BE SET AT THE MANUFACTURER'S RECOMMENDED PRESSURE FOR SPRINKLERS.

4. AUTOMATIC CONTROLLER: ALL IRRIGATION SYSTEMS SHALL INCLUDE AN ELECTRIC AUTOMATIC CONTROLLER WITH MULTIPLE PROGRAM AND MULTIPLE REPEAT CYCLE CAPABILITIES AND A FLEXIBLE CALENDAR PROGRAM. ALL CONTROLLERS SHALL BE EQUIPPED WITH AN AUTOMATIC RAIN SHUT-OFF DEVICE.

5. ON SLOPES EXCEEDING 30%, THE IRRIGATION SYSTEM SHALL CONSIST OF DRIP EMITTERS, BUBBLERS, OR SPRINKLERS WITH A MAXIMUM PRECIPITATION RATE OF 0.85 INCHES PER HOUR AND ADJUSTED SPRINKLER CYCLE TO ELIMINATE RUNOFF.

6. EACH VALVE SHALL IRRIGATE A LANDSCAPE WITH SIMILAR SITE, SLOPE AND SOIL CONDITIONS AND PLANT MATERIALS WITH SIMILAR WATERING NEEDS. TURF AND NON-TURF AREAS SHALL BE IRRIGATED ON SEPARATE VALVES.

7. DRIP EMITTERS OR A BUBBLER SHALL BE PROVIDED FOR EACH TREE WHERE PRACTICABLE. BUBBLERS SHALL NOT EXCEED 1.5 GALLONS PER MINUTE PER DEVICE. BUBBLERS FOR TREES SHALL BE ON SEPARATE VALVE UNLESS SPECIFICALLY EXEMPTED BY THE SANDY CITY PUBLIC UTILITIES DEPARTMENT DUE TO THE LIMITED NUMBER OF TREES ON THE PROJECT SITE.

8. SPRINKLERS SHALL HAVE MATCHED PRECIPITATION RATE WITH EACH CONTROL VALVE CIRCUIT.

9. CHECK VALVES SHALL BE REQUIRED WHERE ELEVATION DIFFERENCES WILL CAUSE LOW-HEAD DRAINAGE. PRESSURE COMPENSATING VALVES AND SPRINKLERS SHALL BE REQUIRED WHERE A SIGNIFICANT VARIATION IN WATER PRESSURE WILL OCCUR WITHIN THE IRRIGATION SYSTEM DUE TO ELEVATION DIFFERENCES.

10. DRIP IRRIGATION LINES SHALL BE PLACED UNDERGROUND OR OTHERWISE PERMANENTLY COVERED, EXCEPT FOR DRIP EMITTERS AND WHERE APPROVED AS A TEMPORARY INSTALLATION. FILTERS AND END FLUSH VALVES SHALL BE PROVIDED AS NECESSARY.

10. MULCH OVER DEWITT PRO 5 WEED BARRIER WILL BE REQUIRED IN ALL LANDSCAPE BEDS FOR SHRUBS, PERENNIALS, AND ANNUALS. SEE PLANS FOR MULCH TYPES. MULCH SHALL BE EVENLY SPREAD ON A CAREFULLY PREPARED GRADE TO THE MINIMUM NOTED DEPTH. THE TOP OF ALL AREAS OF MULCH SHALL BE AT THE GRADE OF THE ADJACENT CURB, WALK, OR EDGE OF PAVEMENT.

11. FERTILIZER FOR SOD AREAS SHALL BE PELLETIZED, N-P-K AS APPROVED BY LANDSCAPE ARCHITECT FOR SEASONAL ADJUSTMENT. USE 20 LBS PER 5,000 SQUARE FEET OR AS PER MANUFACTURER'S SPECIFICATIONS. SPREAD EVENLY ON A CAREFULLY PREPARED TOPSOIL LAYER JUST PRIOR TO LAYING SOD.

12. TREE STAKING AND GUYING SHALL BE ON AN AS NEEDED BASIS AND ONLY IF THE ROOT BALL IS UNSTABLE. THE CONTRACTOR SHALL DETERMINE STAKING NEEDS DEPENDENT ON THE SITE CONDITIONS. IT IS THE CONTRACTORS RESPONSIBILITY TO REMOVE GUYING AND STAKING IN A TIMELY MANNER ONCE STAKED TREES HAVE TAKEN ROOT. NO STAKING SHALL REMAIN BEYOND A REASONABLE TIME FOR ROOT PENETRATION AND STABILIZATION.

13. TREE WRAPPING MAY BE USED TO PROTECT YOUNG TREES FROM WINTER DAMAGE. TREE WRAPS SHALL ONLY BE INSTALLED IN THE FALL. IF THE CONTRACTOR INSTALLS WRAPS FOR TREE PROTECTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO PROMPTLY REMOVE WRAPS THE FOLLOWING SPRING.

14. LANDSCAPE MAINTENANCE MUST BE PERFORMED BY THE LANDSCAPE CONTRACTOR DURING ESTABLISHMENT (30 DAYS AFTER FINAL ACCEPTANCE OF ENTIRE PROJECT). RESPONSIBILITIES INCLUDE WEED CONTROL AND MOWING. NOTIFY OWNER AND CONSTRUCTION REPRESENTATIVE WHEN ESTABLISHMENT PERIOD HAS ENDED TO INSURE ONGOING MAINTENANCE. THE OWNER IS RESPONSIBLE FOR LANDSCAPE MAINTENANCE AND UPKEEP ONCE ESTABLISHMENT PERIOD HAS EXPIRED.

15. ALL PLANT MATERIAL AND LANDSCAPE ELEMENTS WILL BE GUARANTEED FOR ONE YEAR AFTER FINAL ACCEPTANCE. ANY ITEMS THAT ARE NOT FIRST CLASS PREMIUM QUALITY WILL BE REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER. ANY PLANT MATERIAL THAT IS NOT PREMIUM QUALITY OR APPEARS STRESSED IN ANY WAY DURING THE GUARANTEE PERIOD MAY REQUIRE REPLACEMENT. THE CONTRACTOR MUST SCHEDULE A PRE AND POST GUARANTEE MEETING WITH THE OWNER'S REPRESENTATIVE FOR INSPECTION. FAILURE TO DO SO WILL MEAN THE OFFICIAL GUARANTEE PERIOD HAS NOT BEEN ACTIVATED OR DE-ACTIVATED.

16. SUBMITTALS OF ALL LANDSCAPE MATERIALS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO COMMENCING WORK. PROVIDER INFORMATION AND SAMPLES SHALL BE SUBMITTED OF ANY GRAVEL OR WOOD MULCHES. NURSERY STOCK SUBMITTAL SHALL INCLUDE PROVIDER INFORMATION WITH A LIST OF PLANT MATERIALS BEING PROVIDED BY THE NURSERY.

17. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL QUANTITIES LISTED ON THE PLANS AND THE AVAILABILITY OF ALL PLANT MATERIALS IN THEIR SPECIFIC SIZES PRIOR TO SUBMITTING A BID. THE CONTRACTOR MUST NOTIFY THE LANDSCAPE ARCHITECT PRIOR TO SUBMITTING A BID IF THE CONTRACTOR DETERMINES A QUANTITY DEFICIENCY OR AVAILABILITY PROBLEM WITH SPECIFIED MATERIAL.

18. SPECIFICATIONS FOR LANDSCAPE AND IRRIGATION CONSTRUCTION SHALL BE THE 2007 APWA "MANUAL OF STANDARD SPECIFICATIONS".

19. ALL LANDSCAPE MATERIAL SHALL BE FULLY IRRIGATED BY AN AUTOMATIC IRRIGATION SYSTEM (DESIGN BUILD). IRRIGATION DESIGN SHALL BE APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

20. TREE REMOVAL OR TREE PLANTING IN THE PUBLIC RIGHT-OF-WAY REQUIRES APPROVAL FROM THE SANDY CITY URBAN FORESTER OR SUBMIT PLANS CONTAINING AN URBAN FORESTER APPROVAL.

11. IRRIGATION ZONES WITH OVERHEAD SPRAY OR STREAM SPRINKLERS SHALL BE DESIGNED TO OPERATE BETWEEN 6:00 P.M. AND 10:00 A.M. TO REDUCE WATER LOSS FROM WIND AND EVAPORATION. THIS WOULD EXCLUDE DRIP OR BUBBLER ZONES.

12. PROGRAM VALVES FOR MULTIPLE REPEAT CYCLES WHERE NECESSARY TO REDUCE RUNOFF, PARTICULARLY SLOPES AND SOILS WITH SLOW INFILTRATION RATES.

13. FOLLOWING CONSTRUCTION AND PRIOR TO RELEASE OF THE SECONDARY BOND GUARANTEE POSTED FOR THE PROJECT, A WATER USE EFFICIENCY REVIEW WILL BE CONDUCTED BY A LANDSCAPE IRRIGATION AUDITOR. THE AUDITOR SHALL BE INDEPENDENT OF THE CONTRACTOR, DESIGN FIRM, AND OWNER/DEVELOPER OF THE PROJECT. THE WATER PERFORMANCE AUDIT WILL VERIFY THAT THE IRRIGATION SYSTEM COMPLIES WITH THE MINIMUM STANDARDS REQUIRED BY SANDY CITY ORDINANCE. THE MINIMUM EFFICIENCY REQUIRED FOR THE IRRIGATION SYSTEM IS 60% FOR DISTRIBUTION EFFICIENCY FOR ALL FIXED SPRAY SYSTEMS AND 70% DISTRIBUTION EFFICIENCY FOR ALL ROTOR SYSTEMS. THE AUDITOR SHALL FURNISH A CERTIFICATE TO THE CITY, DESIGNER, INSTALLER AND OWNER/DEVELOPER CERTIFYING COMPLIANCE WITH THE MINIMUM DISTRIBUTION REQUIREMENTS. COMPLIANCE WITH THIS PROVISION IS REQUIRED BEFORE THE CITY WILL RELEASE THE BOND FOR THIS PROJECT.

14. PLANTS WHICH REQUIRE DIFFERENT AMOUNTS OF WATER SHALL BE IRRIGATED BY SEPARATE VALVES. IF ONE VALVE IS USED FOR A GIVEN AREA, ONLY PLANTERS WITH SIMILAR WATER USE SHALL BE USED IN THAT AREA. LAWN AREAS AND PLANTERS SHALL BE IRRIGATED BY SEPARATE VALVES.

15. A SEPARATE BACKFLOW PREVENTION DEVICE SHALL BE INSTALLED FOR THE IRRIGATION SYSTEM.

16. A RAIN SENSING OVERRIDING DEVICE SHALL BE UTILIZED SO THAT THE IRRIGATION SYSTEM WILL AUTOMATICALLY TURN OFF IN THE EVENT OF RAIN.

17. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PREVENT OVERSPRAY AND WATER RUN-OFF ONTO ADJACENT-PROPERTY, NON-IRRIGATED AREAS, WALKS, ROADWAYS OR STRUCTURES.

18. AN AUTOMATIC IRRIGATION SYSTEM USING POP-UP SPRINKLER HEADS SHALL BE REQUIRED FOR ALL NEW LANDSCAPES. LOW FLOW SPRINKLER HEADS SHALL BE USED WHEREVER POSSIBLE.

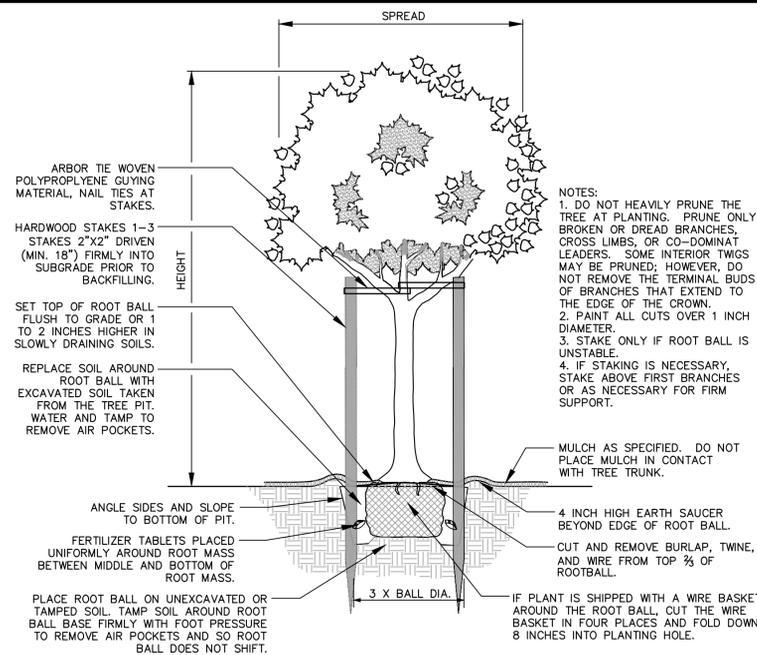
19. NO IRRIGATION OF WALKWAYS OR DRIVE.

20. WATER AUDIT IS REQUIRED PRIOR TO BOND BEING RELEASED. SUGGEST THE AUDIT BE DONE WITHIN 90 DAYS OF INSTALLING IRRIGATION AND LANDSCAPE.

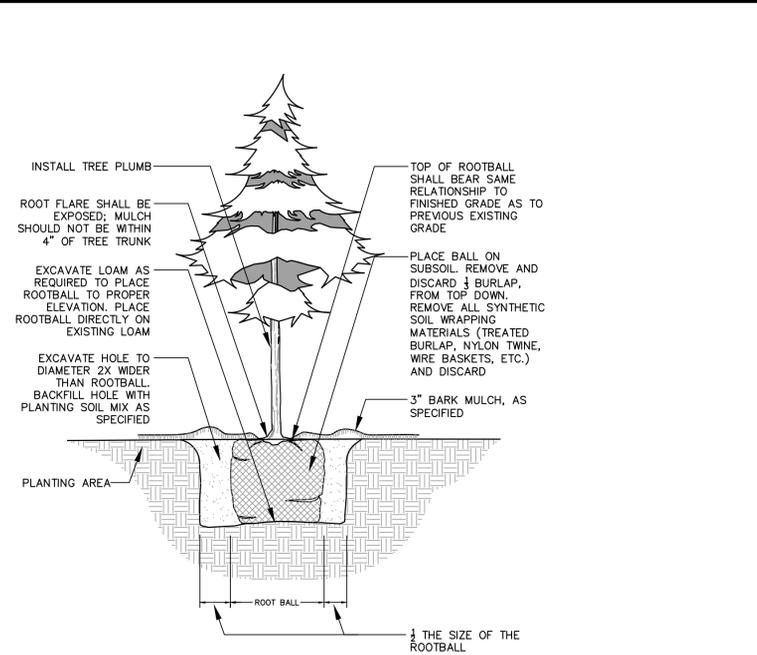
**LANDSCAPE REQUIREMENT NOTES:**

1. NO TREES SHALL BE PLANTED IN PUBLIC PARKS STRIPS LESS THAN 8 FEET WIDE. CENTERLINE OF TREES SHALL BE PLANTED MINIMUM OF 4 FEET AWAY FROM BACK OF CURB AND EITHER SIDE OF SIDEWALK.

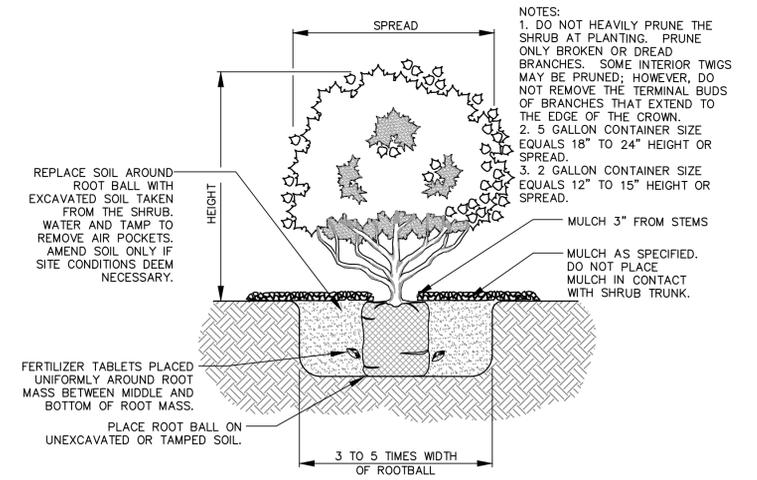
2. 2H:1V MAXIMUM SLOPE IN LANDSCAPED AREAS.



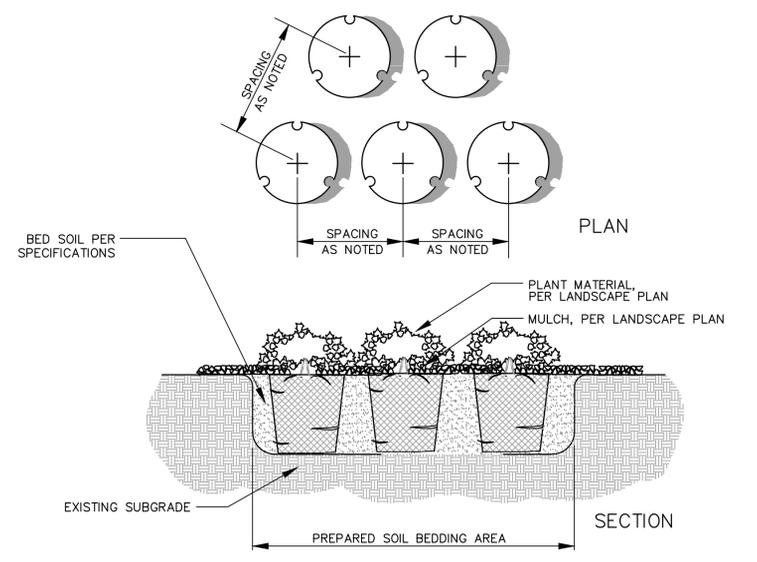
**1 TREE PLANTING AND STAKING**  
N.T.S.



**2 EVERGREEN TREE PLANTING**  
N.T.S.



**3 SHRUB AND ORNAMENTAL GRASS PLANTING**  
N.T.S.



**4 GROUNDCOVER, ANNUAL, AND/OR PERENNIAL PLANTINGS**  
N.T.S.

**TOPSOIL QUALITY GUIDELINES**

Category	Soluble salts (dS/m or mmh/cm)	pH	Sand (%)	Silt (%)	Clay (%)	Texture class*	Organic Matter (%)	% Coarse fragments (> 2 mm in diameter)**	Sodium Adsorption Ratio (SAR)*
Ideal	< 2	5.5 to 7.5	< 70	< 70	< 30	L, S <sub>L</sub>	≥ 2.0	≤ 2	< 3 for any texture
Acceptable	< 4	5.0 to 8.2	< 70	< 70	≤ 30	S <sub>CL</sub> , S <sub>L</sub> , CL, S <sub>CL</sub>	≥ 1.0	2.1 to 5.0	3 to 7 (S <sub>L</sub> , S <sub>CL</sub> , CL) 3 to 10 (S <sub>CL</sub> , S <sub>L</sub> , L)
Unacceptable	> 4	< 5.0 or > 8.2	> 70	> 70	> 30	L <sub>S</sub> , S <sub>C</sub> , S <sub>CL</sub> , S <sub>L</sub> , C	< 1.0	> 5.0	> 10 for any texture

\*L = loam; S<sub>L</sub> = Silt loam; S<sub>CL</sub> = sandy clay loam; S<sub>L</sub> = sandy loam; CL = clay loam; S<sub>CL</sub> = silty clay loam; L<sub>S</sub> = loamy sand; S<sub>C</sub> = sandy clay; S<sub>CL</sub> = silty clay; S = sand; S<sub>L</sub> = silt; C = clay.

\*\*This guideline also includes no fragments larger than 1 1/2 inch in diameter.

Category	Nitrate-nitrogen (ppm or mg N/kg soil)	Phosphorus (ppm or mg P/kg soil)	Potassium (ppm or mg K/kg soil)	Iron (ppm or mg Fe/kg soil)
Acceptable	> 20	> 15	> 150	> 10

Source: Utah State University, "Topsoil Quality Guidelines for Landscaping", December 2010.

This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Foresite Design Group, L.C. shall be without liability to Foresite Design Group, L.C.

NO.	REVISIONS	BY	DATE
1	PER SITE PLAN CHANGES & COMMENTS	DCM	4/14/23

PLANNING, LANDSCAPE ARCHITECTURE & SITE DESIGN SERVICES  
1701 S. RENAISSANCE TOWNE DRIVE  
SANDY, UTAH 84086  
PHONE: 801.841.7464  
www.foresitedesigngroup.com

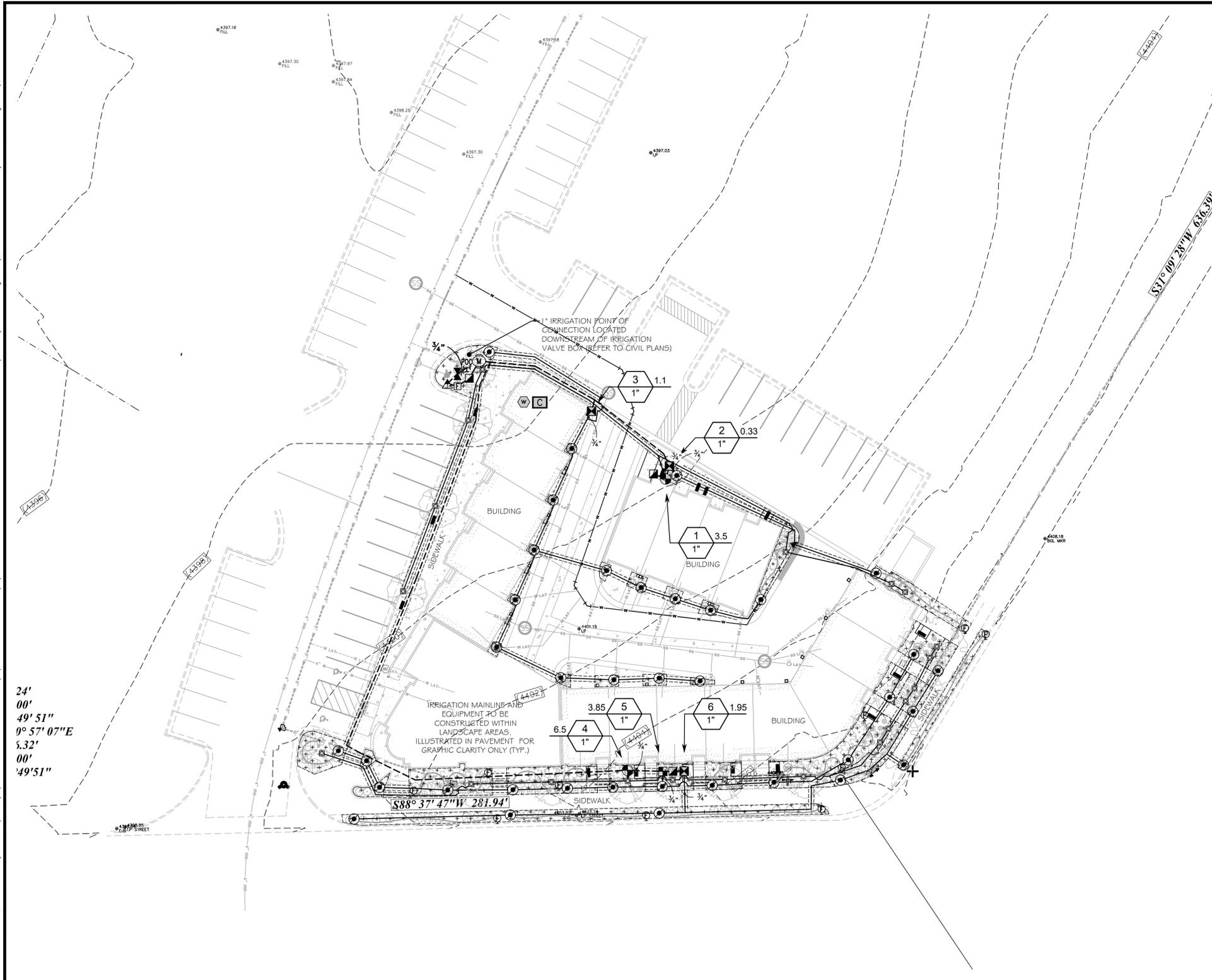


**LOT 11 RENAISSANCE TOWNE CENTER LANDSCAPE NOTES AND DETAILS**  
1701 S. RENAISSANCE TOWNE DRIVE BOUNTIFUL, UTAH



SHEET: **L-2**  
FILE NAME: SCALE: FDG-281 N.A.  
Page 20 of Page 80

This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Foresite Design Group, L.C. shall be without liability to Foresite Design Group, L.C.



24'  
00'  
49' 51"  
0° 57' 07"E  
5.32'  
00'  
49' 51"

VALVE SCHEDULE

NUMBER	MODEL	SIZE	TYPE	GPM
1	Rain Bird PEB	1"	Bubbler	3.5
2	Rain Bird XCZ-LF-100-PRF	1"	Area for Drip Emitters	0.33
3	Rain Bird XCZ-LF-100-PRF	1"	Area for Drip Emitters	1.1
4	Rain Bird PEB	1"	Bubbler	6.5
5	Rain Bird XCZ-LF-100-PRF	1"	Area for Drip Emitters	3.85
6	Rain Bird XCZ-LF-100-PRF	1"	Area for Drip Emitters	1.95

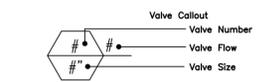
LANDSCAPE WATER ALLOWANCE

LANDSCAPE WATER ALLOWANCE = ETO X I O X 0.62 X A

WHERE: ETO = REFERENCE EVAPOTRANSPIRATION  
 I O = ADJUSTMENT FACTOR FOR 100% TURF GRASS  
 0.62 = CONVERSION FACTOR  
 A = IRRIGATED LANDSCAPE AREA IN SQUARE FEET

31.18 X 1.0 X 0.62 X 4.286 = 82.855 GALLONS

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
▲	Rain Bird 1.80G-NP-1400 Flood Flood Bubbler 6in. popup with non-potable purple cap.	20	30
☒	Rain Bird XCZ-LF-100-PRF Low Flow Dnp Control Kit, 1" Low Flow Valve, 3/4" Pressure Regulating RBY Filter, and 3Ops Pressure Regulator.	3	
☒	Rain Bird XCZ-LF-100-PRF Medium Flow Dnp Control Kit, 1" DV Valve with 1" Pressure Regulating Filter at ., and MDCF Fitting. 3 GPM-15 GPM.	1	
⊙	Pipe Transition Point in Dnp Box Pipe transition point from PVC lateral to dnp tubing with nser in 6" (150mm) dnp box.	37	
⊙	Rain Bird MDCFPCAP Dripline Flush purple cap in compression fitting coupler. For non-potable water use. Install this cap in a round dnp box. Dnp boxes installed where dnp line exceeds 50 feet. All other shorter dnp lines to include surface flush cap.	10	
+	Area to Receive Dnp Emitters Single Outlet, Pressure Compensating Dnp Emitters. Flow rates of 0.5gph=blue, 1.0gph=black, and 2.0gph=red. Comes with a self-piercing barb inlet x barb outlet. Emitter Notes: 0.5 GPH emitters (2 assigned to each 1 gal plant) 1.0 GPH emitters (2 assigned to each 2 gal plant) 1.0 GPH emitters (2 assigned to each 5 gal plant)	4,286 s.f.	
⊙	Rain Bird PEB 1", 1-1/2", 2" Plastic Industrial Valves. Low Flow Operating Capability, Globe Configuration.	2	
⊙	Rain Bird 44-NP 1in. Brass Quick-Coupling Valve, with Corrosion-Resistant Stainless Steel Spring, Locking Non-Potable Purple Rubber Cover, and 2-Piece Body.	3	
⊙	Stop and Waste Valve Drain to Stop and Waste Valve	1	
⊙	Rain Bird PESB 1" 1in., 1-1/2in., 2in. Plastic Industrial Master Valves. Low Flow Operating Capability, Globe Configuration. With Scrubber Technology for Reliable Performance in Dirty Water Irrigation Applications.	1	
▲	Pressure Reducing Valve Pressure downstream required is 50.6 PSI	1	
⊙	Rain Bird ESP4ME with (1) ESP-SM3 7 Station, Hybrid Modular Indoor Controller. For Residential or Light Commercial Applications. Contractor to coordinate with owner's representative regarding location, typical location is in Fire Riser Room.	1	
⊙	Rain Bird WR2-RFC Wireless Rain and Freeze Sensor Combo, includes 1 receiver and 1 rain/freeze sensor transmitter. Contractor to coordinate with owner's representative regarding location.	1	
⊙	Amiad 1-5-Steel Screen Amiad 1" Super Manual Plastic Filter, NPT thread, Steel Screen Element. Engineered-plastic material, maximum working pressure .	1	
---	Irrigation Lateral Line: PVC Schedule 40	1,494 l.f.	
---	Irrigation Mainline: PVC Schedule 40	407.0 l.f.	
---	Pipe Sleeve: PVC Schedule 40	841.3 l.f.	



IRRIGATION NOTES:

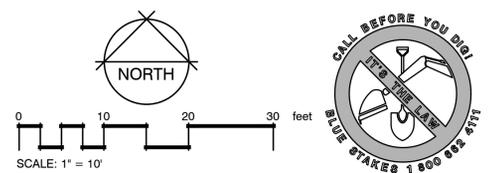
- SEE SHEET IR-2 FOR NOTES AND DETAILS.
- PLANS ARE DIAGRAMMATIC DUE TO SCALE, THEREFORE, IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY QUANTITIES.
- SPRINKLER AUDITS ARE TO BE CONDUCTED AND REPORTS SUBMITTED TO THE CITY PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

GENERAL NOTES:

- IRRIGATION SYSTEM IS EQUIPPED WITH A SMART ET BASED CONTROLLER AND RAIN SENSOR AS PART OF THE SPRINKLER SYSTEM.
- IRRIGATION PIPING AND EQUIPMENT ILLUSTRATED IN HARDSCAPE AREAS IS FOR GRAPHIC CLARIFICATION ONLY. ALL IRRIGATION SYSTEMS ARE TO BE IN SOFTSCAPE UNLESS OTHERWISE NOTED.
- NOTIFY LANDSCAPE ARCHITECT IF STATIC PRESSURE AT THE POINT OF CONNECTION IS UNDER 70 PSI.

WATERED LANDSCAPE AREAS SUMMARY

0 SF OF TURF GRASS  
 4,286 SF OF LOW TO MEDIUM SPACED PLANTINGS & TREES  
 4,286 SF OF TOTAL IRRIGATED LANDSCAPE



NO.	REVISIONS	BY	DATE
1	PER SITE PLAN CHANGES & COMMENTS	DCM	4/14/23

PLANNING, LANDSCAPE ARCHITECTURE & SITE DESIGN SERVICES  
 1701 S. RENAISSANCE TOWNE DRIVE  
 BOUNTIFUL, UTAH 84002  
 PHONE: 801.841.7464  
 www.foresitedesigngroup.com

**Foresite**  
 Design Group, L.C.

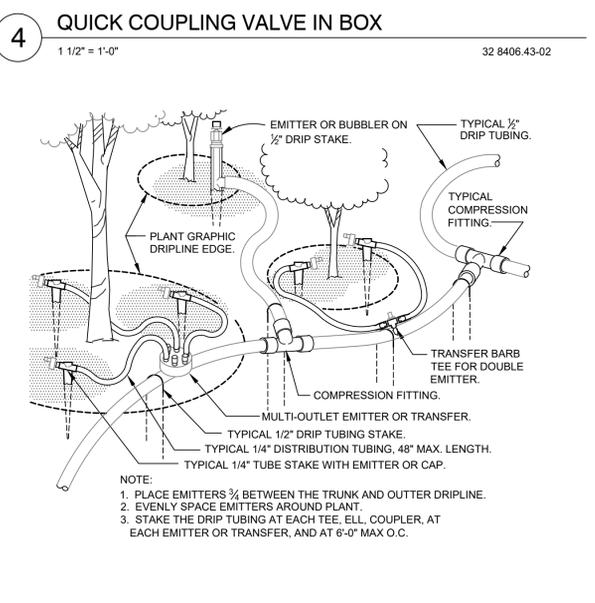
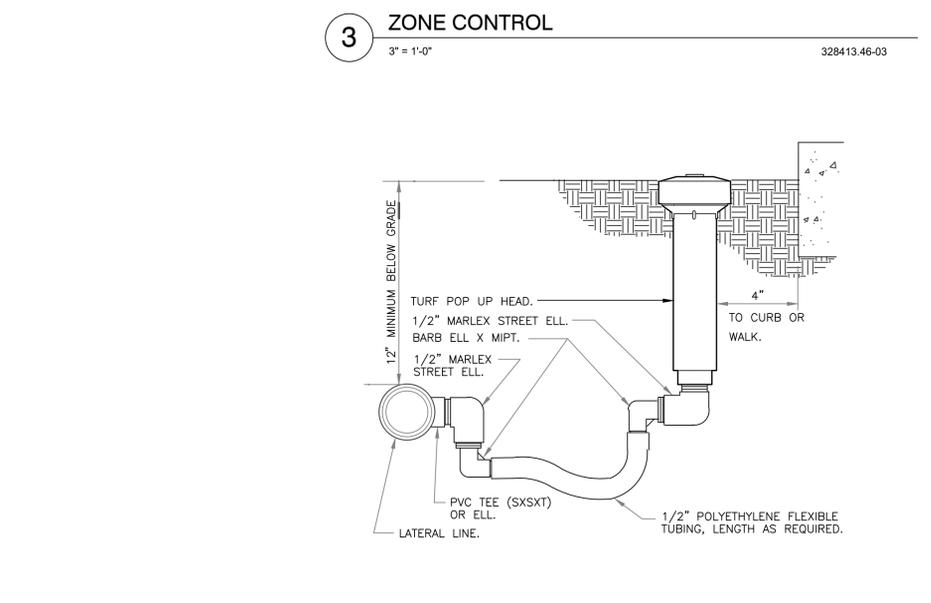
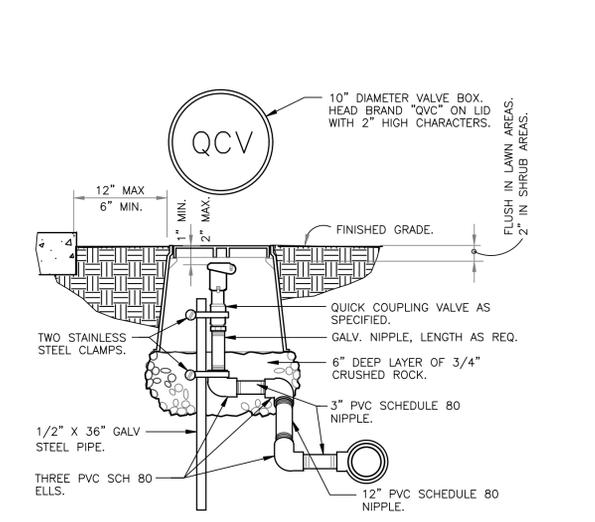
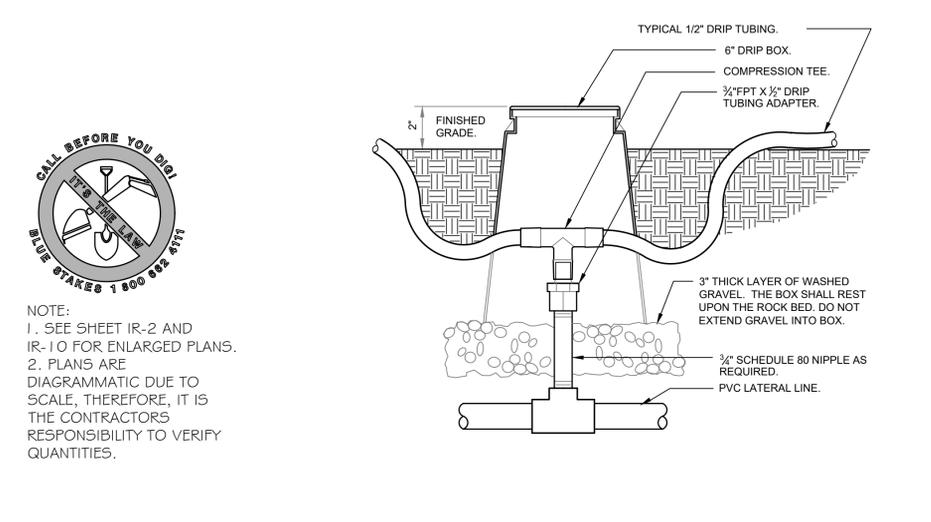
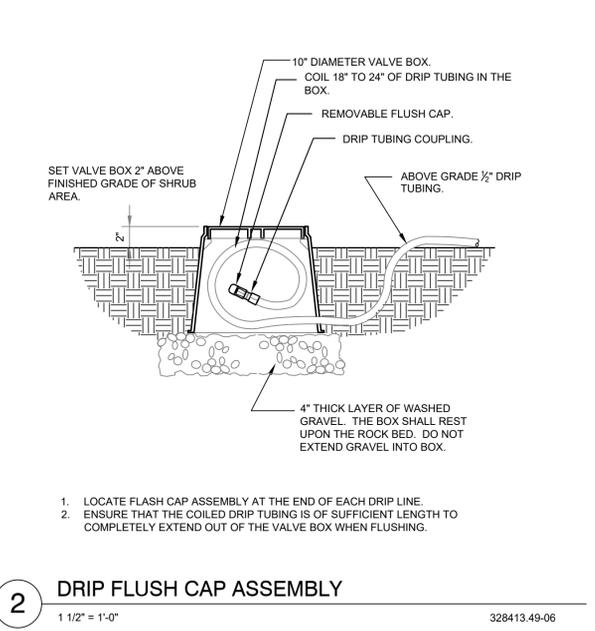
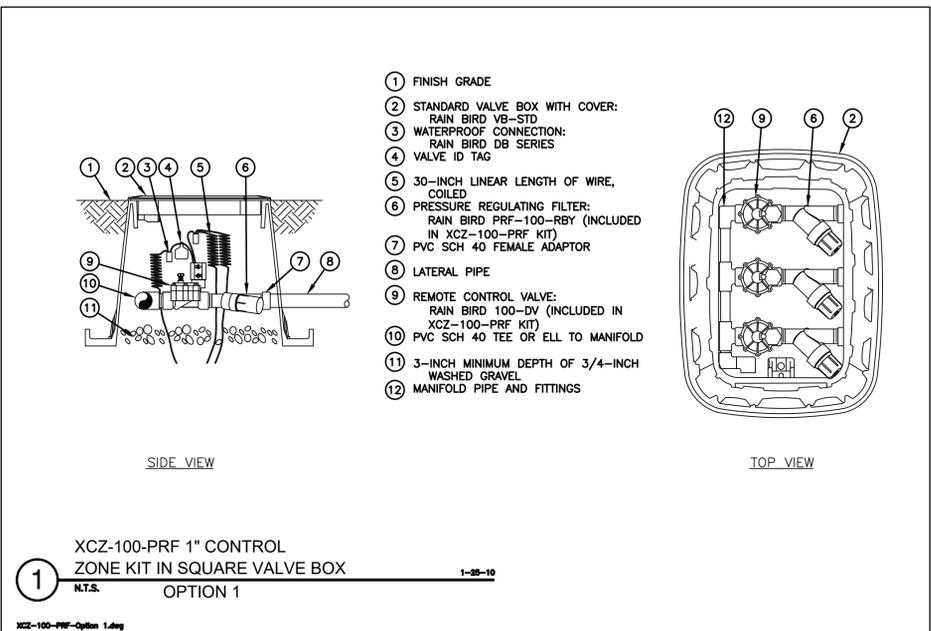
LOT 11 RENAISSANCE TOWNE CENTER  
 IRRIGATION PLAN  
 1701 S. RENAISSANCE TOWNE DRIVE BOUNTIFUL, UTAH

LANDSCAPE ARCHITECT  
 DAN C. MATTA  
 No. 106248  
 04/14/23

SHEET:  
**IR-1**  
 FILE NAME: SCALE:  
 FDG-281 1" = 10'

**IRRIGATION NOTES**

- AN AUTOMATIC IRRIGATION SYSTEM USING POP-UP SPRINKLER HEADS SHALL BE REQUIRED FOR ALL NEW LANDSCAPES. LOW FLOW SPRINKLER HEADS SHALL BE USED WHEREVER POSSIBLE. EACH VALVE SHALL IRRIGATE A LANDSCAPE WITH SIMILAR SITE, SLOPE AND SOIL CONDITIONS AND PLANT MATERIALS WITH SIMILAR WATERING NEEDS. TURF AND NON-TURF AREAS SHALL BE IRRIGATED ON SEPARATE VALVES.
- THE LANDSCAPE CONTRACTOR SHALL PROVIDE IRRIGATION AS-BUILT DRAWINGS OF THE IRRIGATION SYSTEM TO THE OWNERS CONSTRUCTION REPRESENTATIVE. ALL IRRIGATION COMPONENTS ADDED, DELETED, OR MODIFIED IN THE FIELD SHALL BE NOTED ON THE PLAN. NOTE TAP SIZE, LINE SIZE, AND STATIC PRESSURE AT POINT OF CONNECTION.
- IRRIGATION SYSTEM COMPONENTS MUST BE PREMIUM QUALITY ONLY AND INSTALLED TO MANUFACTURER'S REQUIREMENTS AND SPECIFICATIONS. THE CONTRACTOR IS RESPONSIBLE FOR CHECKING STATE AND LOCAL LAWS FOR ALL SPECIFIED MATERIALS AND WORKMANSHIP. SUBSTITUTIONS MUST BE APPROVED BY LANDSCAPE ARCHITECT. PROVIDE OWNER AND MAINTENANCE PERSONNEL WITH INSTRUCTION MANUAL AND ALL PRODUCTS DATA TO OPERATE, CHECK, WINTERIZE, REPAIR, AND ADJUST SYSTEM. ANY CHANGES MUST BE DOCUMENTED AND SUBMITTED TO LANDSCAPE ARCHITECT IN AN AS BUILT PLAN FORMAT.
- IRRIGATION SYSTEM GUARANTEE FOR ALL MATERIALS AND WORKMANSHIP SHALL BE ONE YEAR FROM THE TIME OF PROJECT ACCEPTANCE. GUARANTEE WILL INCLUDE, BUT IS NOT LIMITED TO WINTERIZING, SPRING ACTIVATION, REPAIR, TRENCH SETTING, BACKFILLING DEPRESSIONS, AND REPAIRING FREEZE DAMAGE. CONTRACTOR MUST CONTACT OWNERS REPRESENTATIVE TO SCHEDULE PRE AND POST GUARANTEE INSPECTION MEETINGS. FAILURE TO DO SO WILL MEAN THE OFFICIAL GUARANTEE PERIOD HAS NOT BEEN ACTIVATED OR DE-ACTIVATED.
- IRRIGATION SYSTEM STATIC PRESSURE MUST BE CHECKED BY THE CONTRACTOR BEFORE CONSTRUCTION BEGINS. CONTACT LANDSCAPE ARCHITECT IF MEASURED STATIC PRESSURE IS UNDER 70 PSI. A PRESSURE REGULATING VALVE SHALL BE INSTALLED AND MAINTAINED BY THE CONSUMER IF THE STATIC SERVICE PRESSURE EXCEEDS 80 POUNDS PER SQUARE INCH (PSI). THE PRESSURE-REGULATING VALVE SHALL BE LOCATED BETWEEN THE LANDSCAPE WATER METER AND THE FIRST POINT OF WATER USE, OR FIRST POINT OF DIVISION IN THE PIPE, AND SHALL BE SET AT THE MANUFACTURER'S RECOMMENDED PRESSURE FOR SPRINKLERS.
- LANDSCAPE WATER METER: A WATER METER AND BACKFLOW PREVENTION ASSEMBLY THAT ARE IN COMPLIANCE WITH STATE CODE SHALL BE INSTALLED FOR LANDSCAPE IRRIGATION SYSTEMS, AND THE LANDSCAPE WATER METER AND BACKFLOW PREVENTION ASSEMBLY SHALL BE SEPARATE FROM THE WATER METER AND BACKFLOW PREVENTION ASSEMBLY INSTALLED FOR INDOOR USES. THE SIZE OF THE METER SHALL BE DETERMINED BASED ON IRRIGATION DEMAND.
- IRRIGATION SYSTEM CHECK MUST BE DONE BEFORE THE SYSTEM IS BACKFILLED. IRRIGATION MAINLINE AND EACH CONTROL VALVE SECTION MUST BE FLUSHED AND PRESSURE CHECKED. ASSURE THE COMPLETE SYSTEM HAS NO DOCUMENTED PROBLEMS AND FULL HEAD TO HEAD COVERAGE WITH ADEQUATE PRESSURE FOR SYSTEM OPERATION. ADJUST SYSTEM TO AVOID SPRAY ON BUILDING, HARDSCAPE, AND ADJACENT PROPERTY. ANY PROBLEMS OR PLAN DISCREPANCIES MUST BE REPORTED TO THE LANDSCAPE ARCHITECT.
- FIELD VERIFICATION OF ALL IRRIGATION PIPING AND EQUIPMENT NECESSARY TO COMPLETE CONSTRUCTION IS THE RESPONSIBILITY OF THE CONTRACTOR.
- IRRIGATION LATERALS AND FITTINGS MUST BE SCHEDULE 40 P.V.C. ONE (1) INCH MINIMUM SIZE. SOLVENT WELD ALL JOINTS AS PER MANUFACTURER'S SPECIFICATIONS FOR MEASURED STATIC P.S.I. TEFLON TAPE ALL THREADED FITTINGS. THE MINIMUM DEPTH OF LINES SHALL BE TWELVE (12) INCHES. FLOWS IN G.P.M. FOR UN-SIZED LINES OR CHANGES SHALL BE (1 INCH-9-1/2 G.P.M.), (1 1/4 INCH-13-22 G.P.M.), (1-1/2 INCH-23-30 G.P.M.), (2 INCH-31-50 G.P.M.). INSTALL KING DRAINS AT ALL LOW POINTS AND ADAPT SYSTEM TO MANUAL COMPRESSION AIR BLOWOUT. THE OWNER MUST BE INFORMED ON WINTERIZING SCHEDULE FOR BLOWING OUT SYSTEM.
- IRRIGATION MAIN LINE 3" AND SMALLER SHALL BE SCHEDULE 40 PVC PIPE WITH SCHEDULE 80 FITTINGS. SOLVENT WELD ALL JOINTS AS PER MANUFACTURER'S SPECIFICATIONS FOR MEASURED STATIC PRESSURE. USE TEFLON TAPE ON ALL THREADED JOINTS. LINE DEPTH MUST BE TWENTY FOUR (24) INCHES MINIMUM.
- THRUST BLOCKS FOR MAINLINES 2" OR GREATER SHALL BE INSTALLED WITH A MINIMUM OF THREE AND A HALF (3 1/2) CUBIC FOOT OF CONCRETE WHEREVER A CHANGE IN DIRECTION OR A "T" OCCURS.
- AUTOMATIC CONTROLLER: ALL IRRIGATION SYSTEMS SHALL INCLUDE AN ELECTRIC AUTOMATIC CONTROLLER WITH MULTIPLE PROGRAM AND MULTIPLE REPEAT CYCLE CAPABILITIES AND A FLEXIBLE CALENDAR PROGRAM. ALL CONTROLLERS SHALL BE EQUIPPED WITH AN AUTOMATIC RAIN SHUT-OFF DEVICE.
- A RAIN SENSING OVERRIDING DEVICE SHALL BE UTILIZED SO THAT THE IRRIGATION SYSTEM WILL AUTOMATICALLY TURN OFF IN THE EVENT OF RAIN.
- CONTROL WIRE MUST BE UF-UL LISTED, COLOR CODED, COPPER CONDUCTOR, DIRECT BURIAL. USE 1/4 GAUGE MINIMUM WIRING WITH ALL CONNECTIONS MADE WITH WATERTIGHT RAINBIRD SPLICE-1 WATERPROOF CONNECTORS AND CONTAINED IN VALVE BOXES. PROVIDE 24" OF SLACK WIRE AT EACH REMOTE CONTROL VALVE IN VALVE BOXES AND SLACK AT ALL CHANGES IN DIRECTION. TAPE WIRE TO THE UNDERSIDE OF THE MAINLINE EVERY TWENTY (20) FEET. WIRING SHALL HAVE SEPARATE COLORS FOR COMMON, CONTROL, AND SPARE. PROVIDE ONE SPARE WIRE FOR EVERY 5 REMOTE CONTROL VALVES, WITH SPARE AVAILABLE AT ALL VALVE MANIFOLDS OR CLUSTERS. ALL SPARE WIRE SHALL BE "HOME RUN" TO THE CONTROLLER AND COMMON SHALL BE END RUN.
- DRIP EMITTERS OR A BUBBLER SHALL BE PROVIDED FOR EACH TREE WHERE PRACTICABLE. BUBBLERS SHALL NOT EXCEED 1.5 GALLONS PER MINUTE PER DEVICE. BUBBLERS FOR TREES SHALL BE ON SEPARATE VALVE UNLESS SPECIFICALLY EXEMPTED BY THE SANDY CITY PUBLIC UTILITIES DEPARTMENT DUE TO THE LIMITED NUMBER OF TREES ON THE PROJECT SITE.
- HEAD RISERS FOR SPRAY HEADS MUST BE A "FUNNY PIPE SYSTEM". RISERS FOR GEAR DRIVEN AND IMPACT HEADS MUST BE RAINBIRD TSJ SERIES SWING JOINTS (SIZE TO MATCH INLET SIZE OF HEAD) OR APPROVED EQUAL.
- SIZE VALVE BOXES ACCORDING TO VALVE NUMBERS FOR EASE OF MAINTENANCE AND REPAIR. INSTALL FOUR (4) CUBIC FEET OF PEA GRAVEL FOR SUMP IN BASE OF BOXES.
- QUICK COUPLERS SHALL BE A RAINBIRD 44LRC WITH A LASCO 1" UNITIZED SWING JOINT ASSEMBLY AND 1" BRASS INSERT 90° ELL OUTLET, SUPPORT WITH REBAR IN EACH RETAINER LUG. INSTALL WHERE SHOWN ON THE PLANS.
- IRRIGATION SYSTEM BACKFILL MUST OCCUR ONLY AFTER SYSTEM CHECK IS COMPLETED AS SPECIFIED. USE ONLY ROCK FREE CLEAN FILL AROUND PIPES, VALVES, DRAINS, OR ANY IRRIGATION SYSTEM COMPONENTS. WATER SETTLE ALL TRENCHES AND EXCAVATIONS.
- ALL IRRIGATION PIPE RUNNING THROUGH WALLS, UNDER SIDEWALK, ASPHALT, OR OTHER HARD SURFACE SHALL BE SLEEVED PRIOR TO PAVING. IT IS THE IRRIGATION CONTRACTORS RESPONSIBILITY TO COORDINATE SLEEVING WITH CONCRETE AND PAVEMENT CONTRACTORS. THE DEPTH FOR MAIN LINE SLEEVES SHALL BE TWENTY FOUR (24) INCHES MINIMUM. DEPTH FOR LATERAL SLEEVES SHALL BE TWELVE (12) INCHES MINIMUM. SLEEVES SHALL BE A MINIMUM OF TWO SIZES LARGER THAN THE PIPE TO BE SLEEVED. ALL VALVE WIRING SHALL BE CONTAINED IN SEPARATE SLEEVING.
- PLANS ARE DIAGRAMMATIC AND APPROXIMATE DUE TO SCALE. WHERE POSSIBLE, ALL PIPING IS TO BE INSTALLED WITHIN THE PLANTING AREAS. NO TEES, ELLS, OR CHANGES IN DIRECTION SHALL OCCUR UNDER HARDSCAPE.
- SPRAY HEADS ADJACENT TO HARDSCAPE PAVING SHALL BE SPACED AWAY 1'-4". SPRAY HEADS ADJACENT TO WALLS, BUILDINGS, FENCES OR STRUCTURES SHALL BE SPACED AWAY A MINIMUM OF 6".
- SPRINKLERS SHALL HAVE MATCHED PRECIPITATION RATE WITH EACH CONTROL VALVE CIRCUIT.
- CHECK VALVES SHALL BE REQUIRED WHERE ELEVATION DIFFERENCES WILL CAUSE LOW-HEAD DRAINAGE. PRESSURE COMPENSATING VALVES AND SPRINKLERS SHALL BE REQUIRED WHERE A SIGNIFICANT VARIATION IN WATER PRESSURE WILL OCCUR WITHIN THE IRRIGATION SYSTEM DUE TO ELEVATION DIFFERENCES.
- ON SLOPES EXCEEDING 30%, THE IRRIGATION SYSTEM SHALL CONSIST OF DRIP EMITTERS, BUBBLERS, OR SPRINKLERS WITH A MAXIMUM PRECIPITATION RATE OF 0.85 INCHES PER HOUR AND ADJUSTED SPRINKLER CYCLE TO ELIMINATE RUNOFF. PROGRAM VALVES FOR MULTIPLE REPEAT CYCLES WHERE NECESSARY TO REDUCE RUNOFF, PARTICULARLY SLOPES AND SOILS WITH SLOW INFILTRATION RATES.
- IRRIGATION ZONES WITH OVERHEAD SPRAY OR STREAM SPRINKLERS SHALL BE DESIGNED TO OPERATE BETWEEN 6:00 P.M. AND 10:00 A.M. TO REDUCE WATER LOSS FROM WIND AND EVAPORATION. THIS WOULD EXCLUDE DRIP OR BUBBLER ZONES.
- IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY ALL QUANTITIES BASED UPON THE PLAN PRIOR TO COMPLETION OF A CONSTRUCTION COST ESTIMATE.
- UPON COMPLETION OF IRRIGATION MODIFICATIONS, THE CONTRACTOR SHALL VISUALLY INSPECT THE IRRIGATION SYSTEM AND VERIFY THAT ALL IRRIGATION ZONES OPERATE PROPERLY. ANY UNDER IRRIGATED OR UNIRRIGATED AREAS SHALL BE IDENTIFIED, AND THE CONTRACTOR SHALL MAKE ADJUSTMENTS OR ADDITIONS TO THE SYSTEM TO CORRECT IRRIGATION DEFICIENCIES.
- DRIP SYSTEM PIPING SHALL CONSIST OF A RIGID SCHEDULE 40 PVC PIPE DISTRIBUTION SYSTEM CONNECTING DRIP IRRIGATED PLANTING AREAS. POLYETHYLENE SHALL BE RUN OFF THE RIGID PVC IN EACH PLANTING AREA OR ISLAND UNDER A PVC TUBING ADAPTER. NO POLYETHYLENE SHALL RUN UNDER PAVEMENT.
- DRIP IRRIGATION LINES SHALL BE PLACED UNDERGROUND OR OTHERWISE PERMANENTLY COVERED, EXCEPT FOR DRIP EMITTERS AND WHERE APPROVED AS A TEMPORARY INSTALLATION. FILTERS AND END FLUSH VALVES SHALL BE PROVIDED AS NECESSARY.
- FOLLOWING CONSTRUCTION, PRIOR TO RELEASE OF THE SECONDARY BOND GUARANTEE POSTED FOR THE PROJECT AND WITHIN 60 DAYS OF INSTALLING THE IRRIGATION SYSTEM AND LANDSCAPE, A WATER USE EFFICIENCY REVIEW WILL BE CONDUCTED BY A LANDSCAPE IRRIGATION AUDITOR. THE AUDITOR SHALL BE INDEPENDENT OF THE CONTRACTOR, DESIGN FIRM, AND OWNER/DEVELOPER OF THE PROJECT. THE WATER PERFORMANCE AUDIT WILL VERIFY THAT THE IRRIGATION SYSTEM COMPLIES WITH THE MINIMUM STANDARDS REQUIRED BY SANDY CITY ORDINANCE. THE MINIMUM EFFICIENCY REQUIRED FOR THE IRRIGATION SYSTEM IS 60% FOR DISTRIBUTION EFFICIENCY FOR ALL FIXED SPRAY SYSTEMS AND 70% DISTRIBUTION EFFICIENCY FOR ALL ROTOR SYSTEMS. THE AUDITOR SHALL FURNISH A CERTIFICATE TO THE CITY, DESIGNER, INSTALLER AND OWNER/DEVELOPER CERTIFYING COMPLIANCE WITH THE MINIMUM DISTRIBUTION REQUIREMENTS. COMPLIANCE WITH THIS PROVISION IS REQUIRED BEFORE THE CITY WILL RELEASE THE BOND FOR THIS PROJECT.
- MULCH: AFTER COMPLETION OF ALL PLANTING, ALL IRRIGATED NON-TURF AREAS SHALL BE COVERED WITH A MINIMUM LAYER OF FOUR (4) INCHES OF MULCH TO RETAIN WATER, INHIBIT WEED GROWTH AND MODERATE SOIL TEMPERATURE. NON-POROUS MATERIAL SHALL NOT BE PLACED UNDER THE MULCH. 4" MULCH IN ALL IRRIGATED NON-TURF AREAS. IF ROCK MULCH, MINIMUM IS 3".



This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and approval by Foresite Design Group, L.C. shall be without liability to Foresite Design Group, L.C.

NO.	REVISIONS	BY	DATE
1	PER SITE PLAN CHANGES & COMMENTS	DCM	4/14/23

PLANNING, LANDSCAPE ARCHITECTURE & SITE DESIGN SERVICES  
 1701 S. RENAISSANCE TOWNE DRIVE  
 SALT LAKE CITY, UT 84143  
 PHONE: 801.841.7464  
 www.foresitedesigngroup.com



**LOT 11 RENAISSANCE TOWNE CENTER**  
**IRRIGATION NOTES AND DETAILS**  
 1701 S. RENAISSANCE TOWNE DRIVE BOUNTIFUL, UTAH



SHEET: **IR-2**  
 FILE NAME: SCALE: FDG-281 N.A.

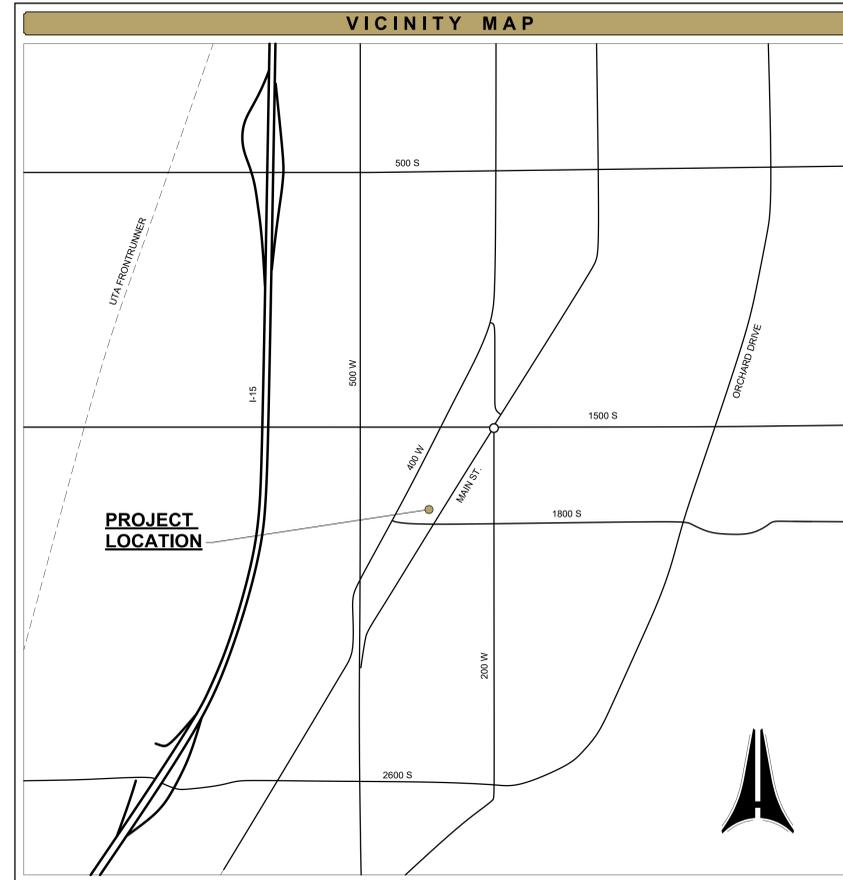
A

B

C

D

E



SHEET INDEX			
SHT #	SHT NAME	REVISION	REV. DATE
GENERAL SHEETS			
-	COVER SHEET		
G100	SHEET INDEX & DESIGN CRITERIA		
CIVIL SHEETS			
C100	COVER		
C101	NOTES & LEGEND		
C300	DEMOLITION PLAN		
C400	SITE PLAN		
C500	GRADING PLAN		
C600	UTILITY PLAN		
C900	SITE DETAILS		
C910	UTILITY DETAILS		
EC100	EROSION CONTROL		
ARCHITECTURAL SHEETS			
A001	CONCEPTUAL SITE PLAN		
A002	SITE PLAN - ISOMETRIC		
A101	FLOOR PLANS - BLDG 1A		
A102A	FLOOR PLANS - BLDG 2A		
A102B	FLOOR PLANS - BLDG 2A		
A103A	FLOOR PLANS - BLDG 2B		
A103B	FLOOR PLANS - BLDG 2B		
A104	FLOOR PLANS - COMMERCIAL		
A151	ENLARGED PLANS - UNIT 1A		
A152	ENLARGED PLANS - UNIT 2A		
A153	ENLARGED PLANS - UNIT 2B		
A154	ENLARGED PLANS - UNIT 2C		
A201	ELEVATIONS - OVERALL		
A202	ELEVATIONS - OVERALL		
A251	ENLARGED ELEVATIONS - BLDG 1A		
A252	ENLARGED ELEVATIONS - BLDG 2A		
A253	ENLARGED ELEVATIONS - BLDG 2B		
A254	ENLARGED ELEVATIONS - COMMERCIAL		
LANDSCAPE SHEETS			
L-1	LANDSCAPE PLAN		
L-2	LANDSCAPE DETAILS		
IRRIGATION SHEETS			
IR-1	IRRIGATION PLAN		
IR-2	IRRIGATION DETAILS		
TOTAL: 33			

DESIGN CRITERIA	
<b>GENERAL INFORMATION</b>	<b>COMMERCIAL CRITERIA</b>
<b>PROJECT ADDRESS:</b> 1791 RENAISSANCE TOWNE DRIVE BOUNTIFUL, UTAH	<b>CODE ANALYSIS:</b> 2018 INTERNATIONAL BUILDING CODE
<b>PROJECT DESCRIPTION:</b> MIXED-USE DEVELOPMENT WITH 17 TOWNHOUSES, AND LIKELY OFFICE/RETAIL, PART OF THE RENAISSANCE TOWNE CENTRE (RTC) DEVELOPMENT PLAN. SITE WAS SPECIFICALLY PLATTED LOT 11 UNDER THE RTC.	<b>OCCUPANCY TYPE:</b> B, R-2
<b>LOT DESCRIPTION:</b> LOT 11 RENAISSANCE TOWNE CENTER A COMMERCIAL MIXED USE PLANNED UNIT DEVELOPMENT, PHASE 3, PLAT 2	<b>CONSTRUCTION TYPE:</b> VA
<b>SIZE:</b> FRONTAGE: 24203 SF	<b>R-2 UNIT TYPES:</b> TYPE B
<b>STRUCTURAL DESIGN CRITERIA:</b> SNOW: 33 PSF WIND: 155 MPH VULT 120 MPH VASD EXPOSURE: B SEISMIC ZONE: ZONE D2	<b>BUILDING HEIGHT AND AREA:</b> MAX HEIGHT: 54' AREA: 9556 SF FOOTPRINT: 2520 SF
<b>RESIDENTIAL CRITERIA</b>	<b>MIXED-USE AREA:</b>
<b>CODE ANALYSIS:</b> 2015 INTERNATIONAL RESIDENTIAL CODE	LEVEL 1: COMMERCIAL: 1263 SF COMMON: 738 SF PARKING: 519 SF TOTAL: 2520 SF
<b>TOWNHOUSE PROJECT:</b> EACH UNIT SEPARATED BY 2-HOUR WALL ASSEMBLY PER R302.2 GARAGE SHEETED WITH 5/8" TYPE 'X' GYPSUM BOARD GARAGE ACCESS DOOR 20 MIN. RATED	LEVEL 2: COMMERCIAL: 1579 SF COMMON: 737 SF TOTAL: 2316 SF
<b>CHAPTER 3: BUILDING PLANNING</b> TOWNHOUSE R302.2 FIRE SEPARATION BETWEEN TOWNHOUSES: DOUBLE WALL 2-HR RATED IN ACCORDANCE W/ ASTM E 119 OR UL 263 - WALLS LESS THAN 180° FROM EACH OTHER @ THE COMMON WALL SHALL BE 2-HR RATED FOR A MINIMUM OF 4' BEYOND THE COMMON WALL. ROOF: NO PENETRATIONS WITHIN 4' OF RATED WALL, UNLESS 30" PARAPET INSTALLED	LEVEL 3: RESIDENTIAL: 1579 SF COMMON: 737 SF TOTAL: 2316 SF
<b>BUILDING HEIGHT AND AREA:</b> MAX HEIGHT: 31' AREA: 28936 SF FOOTPRINT: 9124 SF	LEVEL 4: RESIDENTIAL: 1396 SF COMMON: 407 SF TOTAL: 1803 SF
<b>AREA PER UNIT:</b>	<b>SITE CRITERIA</b>
UNIT 1A: LEVEL 1: 509 SF LEVEL 2: 550 SF LEVEL 3: 550 SF TOTAL PER UNIT: 1609 SF	<b>BUILDING COVERAGE:</b> FOOTPRINT COMBINED: 11644 SF SITE: 24203 SF % COVERAGE: 48%
UNIT 2A: LEVEL 1: 538 SF LEVEL 2: 601 SF LEVEL 3: 609 SF TOTAL PER UNIT: 1748 SF	<b>OPEN SPACE:</b> SOFTSCAPE: 3662 SF HARDSCAPE: 2918 SF TOTAL: 6580 SF % COVERAGE: 27%
UNIT 2B: LEVEL 1: 510 SF LEVEL 2: 577 SF LEVEL 3: 577 SF TOTAL PER UNIT: 1664 SF	
UNIT 2C: LEVEL 1: 600 SF LEVEL 2: 644 SF LEVEL 3: 644 SF TOTAL PER UNIT: 1888 SF	



**EDIFICE**  
DESIGN + ARCHITECTURE  
352 NORTH FLINT STREET  
KAYSVILLE, UT 84037  
385.432.3332 www.EDIFICEdn.com

stamp:

consultant:

owner:

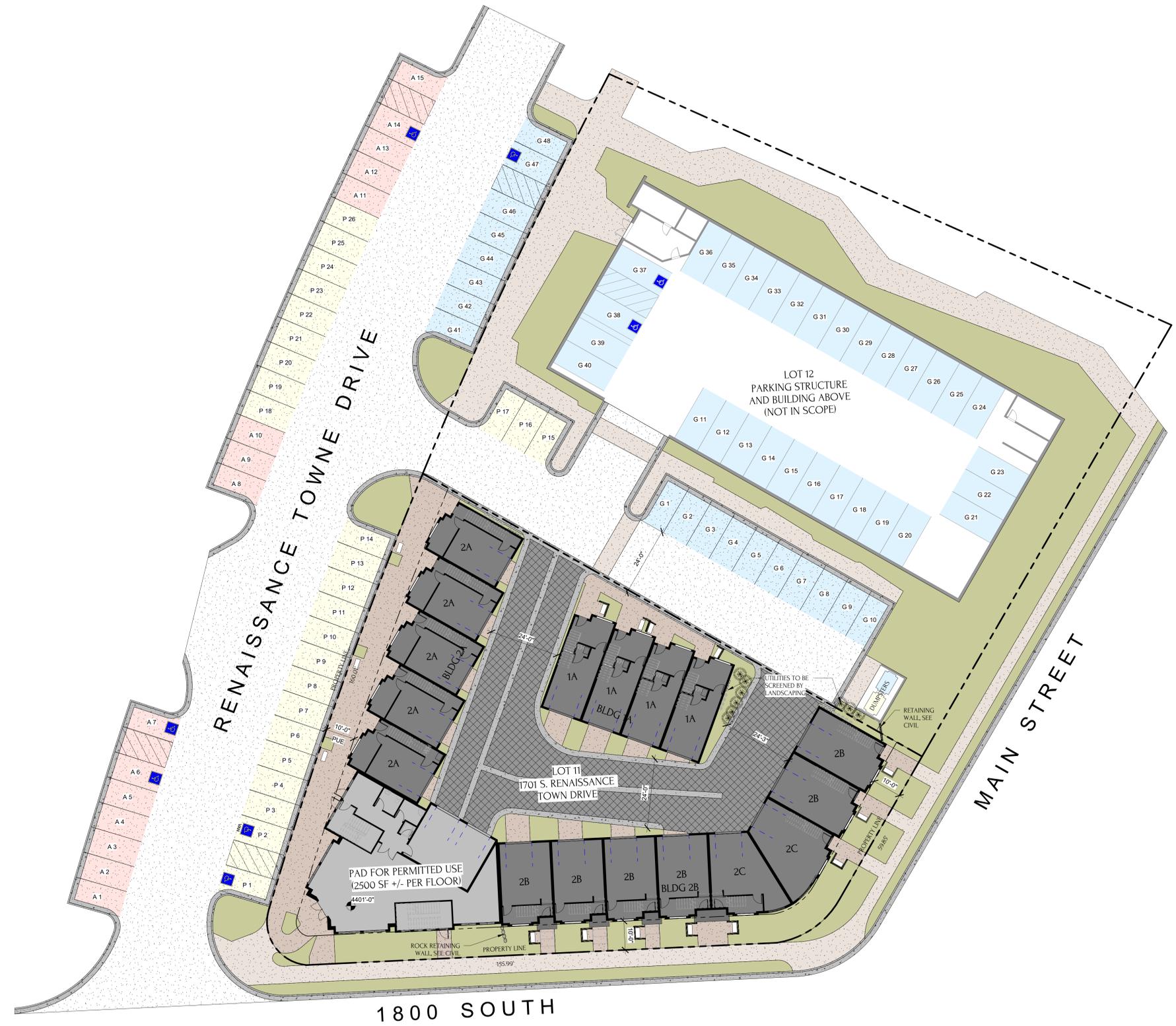
RENAISSANCE TOWNE  
CENTER MIXED-USE  
LOT 11  
1791 S. RENAISSANCE TOWNE DRIVE  
BOUNTIFUL, UTAH

project:  
PROJECT STATUS  
**SITE PLAN  
SUBMITTAL**  
APRIL 27, 2023

REVISIONS	
DATE	DESCRIPTION

Project #: 22204.01

**SHEET  
INDEX &  
DESIGN  
CRITERIA  
G100**



1 CONCEPTUAL SITE PLAN  
1/16" = 1'-0"

ZONING SUMMARY	
DEV. PLAN LOT #:	LOT #11
ZONING:	MXD-R
SUB-ZONING STANDARDS:	50% - 75% S.F. IN RESIDENTIAL USES
SETBACKS:	
MIN. SETBACK:	10'
MAX. SETBACK:	50'
MIN. SEPARATION:	20'
MAX. SEPARATION:	40'
HEIGHTS:	
MIN. HEIGHT:	20'
MAX. HEIGHT:	55' (NON-RESIDENTIAL) 42' (RESIDENTIAL)
OPEN SPACE:	15% OF GFA OR GSA (WHICHEVER IS GREATER)
PARKING:	
RESIDENTIAL:	1B 1.5 / UNIT 25 VISITOR 2B 2 / UNIT 25 VISITOR 3B 2.5 / UNIT 25 VISITOR
BUSINESS / RETAIL UNSPECIFIED:	1 / 200 SF

SITE SUMMARY	
<b>AREA CALCULATIONS</b>	
LOT SIZE:	24209 S.F. (0.556 ACRES)
BUILDINGS:	<ul style="list-style-type: none"> <li>RESIDENTIAL TOWNHOUSES (3-STORIES)</li> <li>PERMITTED USE (OFFICE / RETAIL / OTHER)</li> <li>ADJACENT BUILDING</li> </ul>
1-BEDROOM UNIT 1A:	AVERAGE SF: 1,609 SF COUNT: 4 TOTAL SF: 6,436 SF
2-BEDROOM UNIT 2A:	AVERAGE SF: 1,748 SF COUNT: 5 TOTAL SF: 8,740 SF
UNIT 2B:	AVERAGE SF: 1,664 SF COUNT: 6 TOTAL SF: 9,984 SF
UNIT 2C:	AVERAGE SF: 1,888 SF COUNT: 2 TOTAL SF: 3,776 SF
PERMITTED USE:	
OFFICE / RETAIL / OTHER:	AVERAGE SF / STORY: 2,389 SF STORIES: 4 TOTAL SF: 9,556 SF
TOTAL BUILDING AREA:	38,492 SF
TOTAL FOOTPRINT:	11,644 SF
OPEN SPACE:	AREA REQUIRED: 3,621 SF 15% OF LOT SIZE REQUIRED
	AREA PROVIDED: 6,680 SF SOFTSCAPE PROVIDED: 3,662 SF (56% OF TOTAL) HARDSCAPE PROVIDED: 2,918 SF (44% OF TOTAL)
	<ul style="list-style-type: none"> <li>HARDSCAPE (WITHIN SITE)</li> <li>HARDSCAPE (ADJACENT TO SITE)</li> <li>SOFTSCAPE (WITHIN SITE)</li> <li>SOFTSCAPE (ADJACENT TO SITE)</li> </ul>
<b>PARKING:</b>	
RESIDENTIAL:	17 RESIDENTIAL UNITS 1.31 STALLS PER UNIT (1.31 x 17) = 22.27 PARKING STALLS
PERMITTED USE:	STORY COMMERCIAL BLDG @ 9,556 SF 2.39 STALLS PER 1000 SF 2.39 x 9,556/1000 = 22.84 PARKING STALLS
PARKING REQUIRED:	22.27 + 22.84 = 45.11 45 REQUIRED
PARKING PROVIDED:	17 PRIVATE GARAGES 27 PARKING SPACES 1 FROM GREATER DEVELOPMENT 45 PROVIDED
	<ul style="list-style-type: none"> <li>REGIONS SHADED IN YELLOW INDICATE PARKING STALLS AND DUMPSTERS ALLOCATED TO PROJECT</li> <li>REGIONS SHADED IN BLUE INDICATE PARKING STALLS AND DUMPSTERS ALLOCATED TO ADJACENT PROPERTY</li> <li>REGIONS SHADED IN RED INDICATE PARKING STALLS ALLOCATED TO ADJACENT PROPERTY</li> </ul>



352 NORTH FLINT STREET  
KAYSVILLE, UT 84037  
385.432.3332 www.EDIFICEutah.com

stamp:

consultant:

KNOWLTON GENERAL

owner:  
RENAISSANCE TOWNE  
CENTER MIXED-USE  
LOT 11  
1791 S. RENAISSANCE TOWNE DRIVE  
BOUNTIFUL, UTAH

project:  
PROJECT STATUS  
SITE PLAN  
SUBMITTAL  
APRIL 27, 2023

REVISIONS	
DATE	DESCRIPTION

Project #: 22204.01

**COPYRIGHT**  
Edifice Design + Architecture, LLC reserves the right to these documents and to all designs contained herein. No copies or alterations are to be made without the permission of Edifice DHA. All plans published and sold by Edifice DHA are protected under the Federal Copyright Act, Title 17 of the United States Code, and Chapter 37 of the Code of Federal Regulations.



1

2

3

4

5

6

A

B

C

D

E



Staff recommends removing the fencing around the patio areas, which face the street, to be more compatible with the facade.

1 ISOMETRIC VIEW



**EDIFICE**  
DESIGN + ARCHITECTURE  
352 NORTH FLINT STREET  
KAYSVILLE, UT 84037  
385.432.3332 www.EDIFICEdna.com

**stamp:**

**consultant:**  
KNOWLTON GENERAL

**owner:**  
RENAISSANCE TOWNE  
CENTER MIXED-USE  
LOT 11  
1791 S. RENAISSANCE TOWNE DRIVE  
BOUNTIFUL, UTAH

**project:**  
PROJECT STATUS  
**SITE PLAN  
SUBMITTAL**  
APRIL 27, 2023

REVISIONS	
DATE	DESCRIPTION

Project #: 22204.01

**COPYRIGHT**  
Edifice Design + Architecture, LLC reserves the rights to these documents and to all designs contained herein. No copies or alterations are to be made without the permission of Edifice DNA. All plans published and sold by Edifice DNA are protected under the Federal Copyright Act, Title 17 of the United States Code, and Chapter 37 of the Code of Federal Regulations.

**SITE PLAN -  
ISOMETRIC**  
**A002**

1

2

3

4

5

6

1

2

3

4

5

6

A

B

C

D

E



**EDIFICE**  
 DESIGN + ARCHITECTURE  
 352 NORTH FLINT STREET  
 KAYSVILLE, UT 84037  
 385.432.3332 www.EDIFICEdn.com

stamp:

consultant:

KNOWLTON GENERAL

owner:

RENAISSANCE TOWNE  
 CENTER MIXED-USE  
 LOT 11  
 1791 S. RENAISSANCE TOWNE DRIVE  
 BOUNTIFUL, UTAH

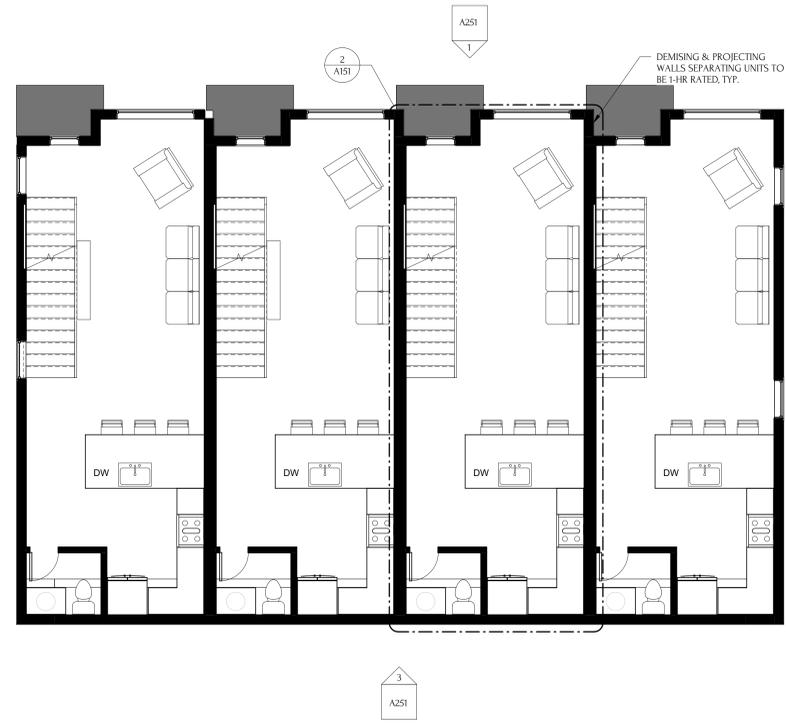
project:

PROJECT STATUS  
**SITE PLAN  
 SUBMITTAL**  
 APRIL 27, 2023

REVISIONS	
DATE	DESCRIPTION

Project #: 22204.01

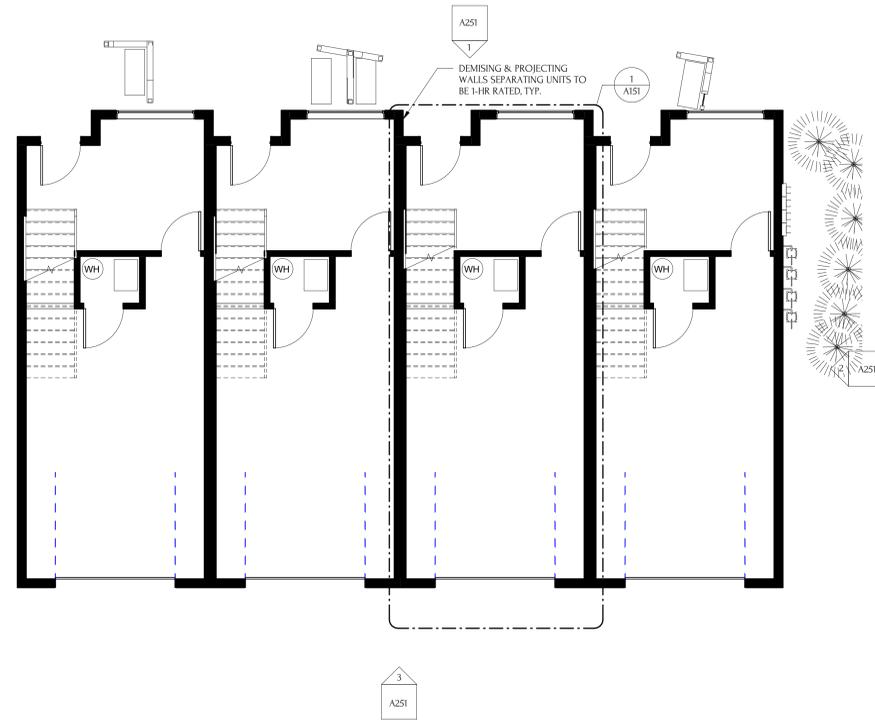
**COPYRIGHT**  
 Edifice Design + Architecture, LLC reserves the rights to these documents and to all designs contained herein. No copies or alterations are to be made without the permission of Edifice DNA. All plans published and sold by Edifice DNA are protected under the Federal Copyright Act, Title 17 of the United States Code, and Chapter 37 of the Code of Federal Regulations.



2 BLDG 1A - LEVEL 2  
 3/16" = 1'-0"



3 BLDG 1A - LEVEL 3  
 3/16" = 1'-0"



1 BLDG 1A - LEVEL 1  
 3/16" = 1'-0"



1

2

3

4

5

6

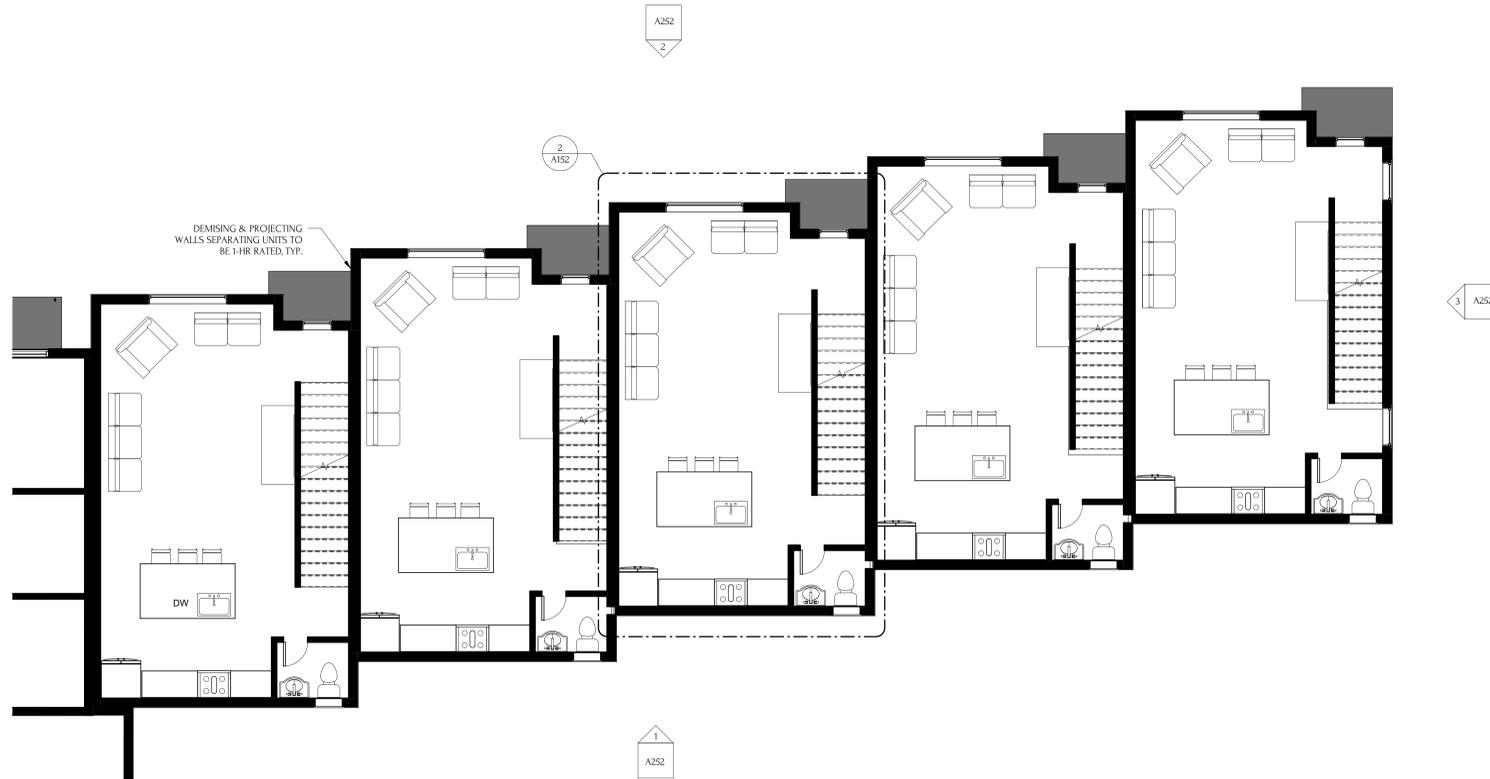
A

B

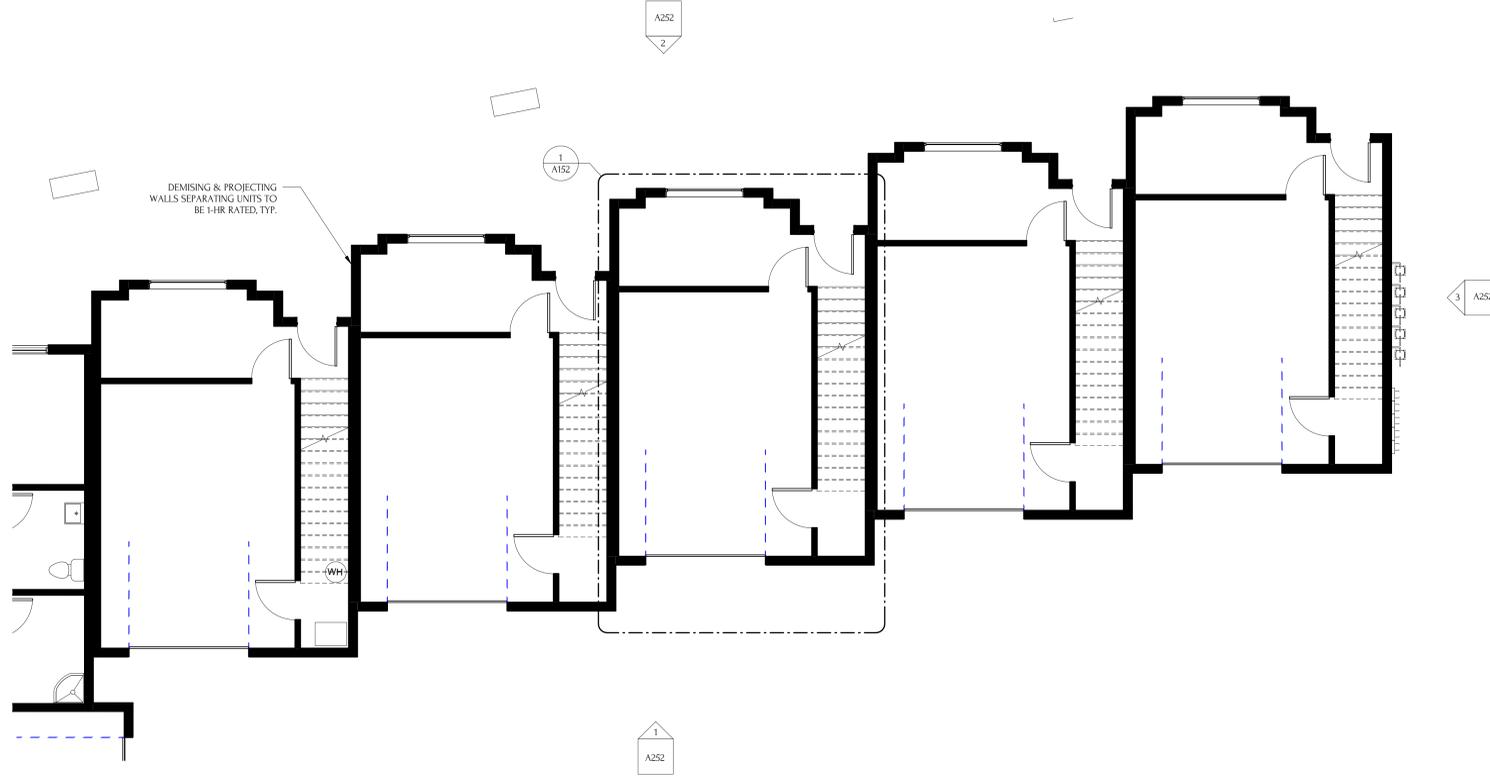
C

D

E



2 BLDG 2A - LEVEL 2  
3/16" = 1'-0" 3 A254



1 BLDG 2A - LEVEL 1  
3/16" = 1'-0" 3 A254



**EDIFICE**  
DESIGN + ARCHITECTURE  
352 NORTH FLINT STREET  
KAYSVILLE, UT 84037  
385.432.3332 www.EDIFICEdna.com

stamp:

consultant:

KNOWLTON GENERAL

owner:  
RENAISSANCE TOWNE  
CENTER MIXED-USE  
LOT 11  
1791 S. RENAISSANCE TOWNE DRIVE  
BOUNTIFUL, UTAH

project:  
PROJECT STATUS  
**SITE PLAN  
SUBMITTAL**  
APRIL 27, 2023

REVISIONS	
DATE	DESCRIPTION

Project #: 22204.01

COPYRIGHT  
Edifice Design + Architecture, LLC reserves the right to these documents and to all designs contained herein. No copies or alterations are to be made without the permission of Edifice DNA. All plans published and sold by Edifice DNA are protected under the Federal Copyright Act, Title 17 of the United States Code, and Chapter 37 of the Code of Federal Regulations.

**FLOOR  
PLANS -  
BLDG 2A**  
**A102A**



1

2

3

4

5

6

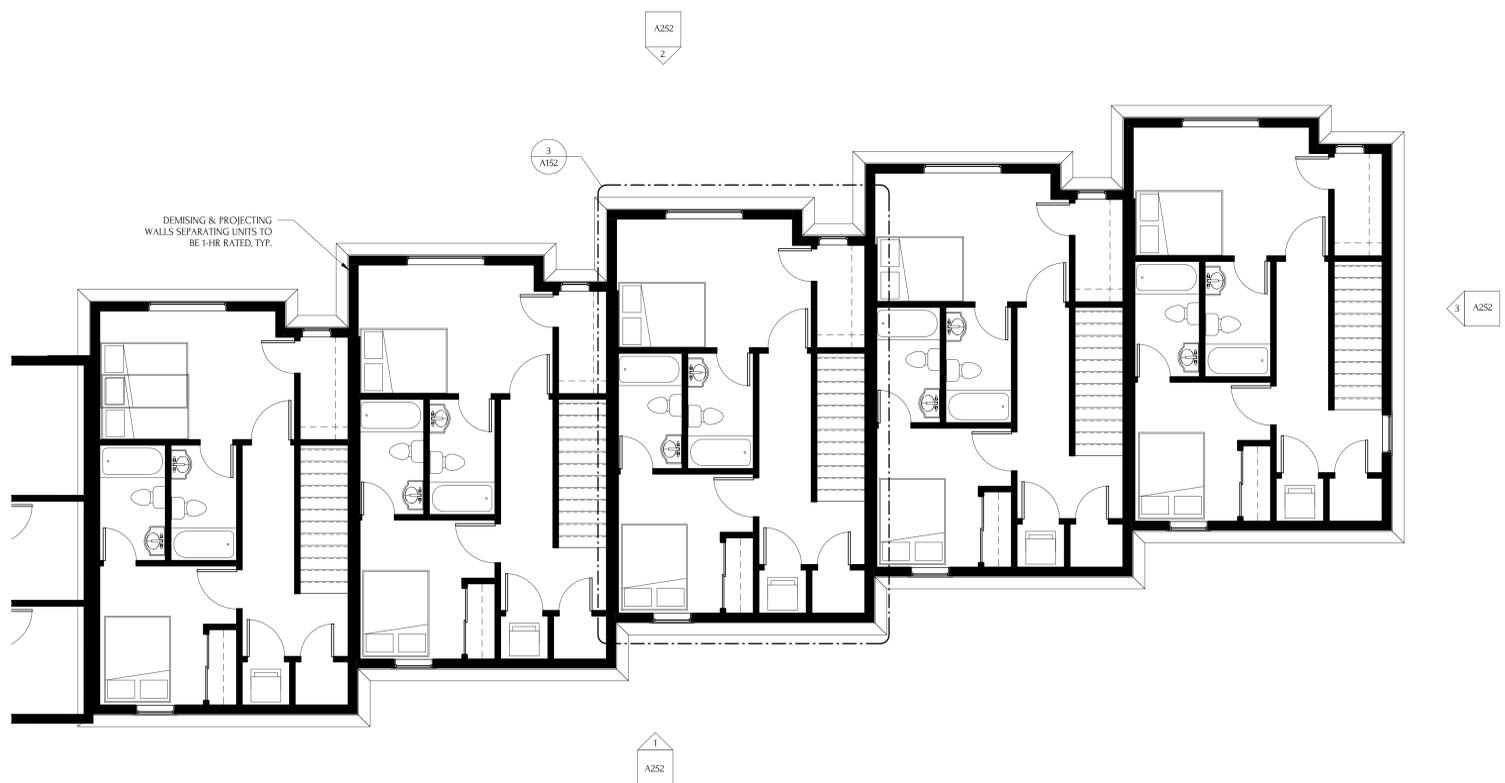
A

B

C

D

E



1 BLDG 2A - LEVEL 3  
 3/16" = 1'-0"



**EDIFICE**  
 DESIGN + ARCHITECTURE  
 352 NORTH FLINT STREET  
 KAYSVILLE, UT 84037  
 385.432.3332 www.EDIFICEdna.com

stamp:

consultant:

KNOWLTON GENERAL

owner:  
 RENAISSANCE TOWNE  
 CENTER MIXED-USE  
 LOT 11  
 1791 S. RENAISSANCE TOWNE DRIVE  
 BOUNTIFUL, UTAH

project:  
 PROJECT STATUS  
**SITE PLAN  
 SUBMITTAL**  
 APRIL 27, 2023

REVISIONS	
DATE	DESCRIPTION

Project #: 22204.01

**COPYRIGHT**  
 Edifice Design + Architecture, LLC reserves the right to these documents and to all designs contained herein. No copies or alterations are to be made without the permission of Edifice DNA. All plans published and sold by Edifice DNA are protected under the Federal Copyright Act, Title 17 of the United States Code, and Chapter 37 of the Code of Federal Regulations.

**FLOOR  
 PLANS -  
 BLDG 2A  
 A102B**



1

2

3

4

5

6



**EDIFICE**  
 DESIGN + ARCHITECTURE  
 352 NORTH FLINT STREET  
 KAYSVILLE, UT 84037  
 385.432.3332 www.EDIFICEdna.com

stamp:

consultant:

KNOWLTON GENERAL

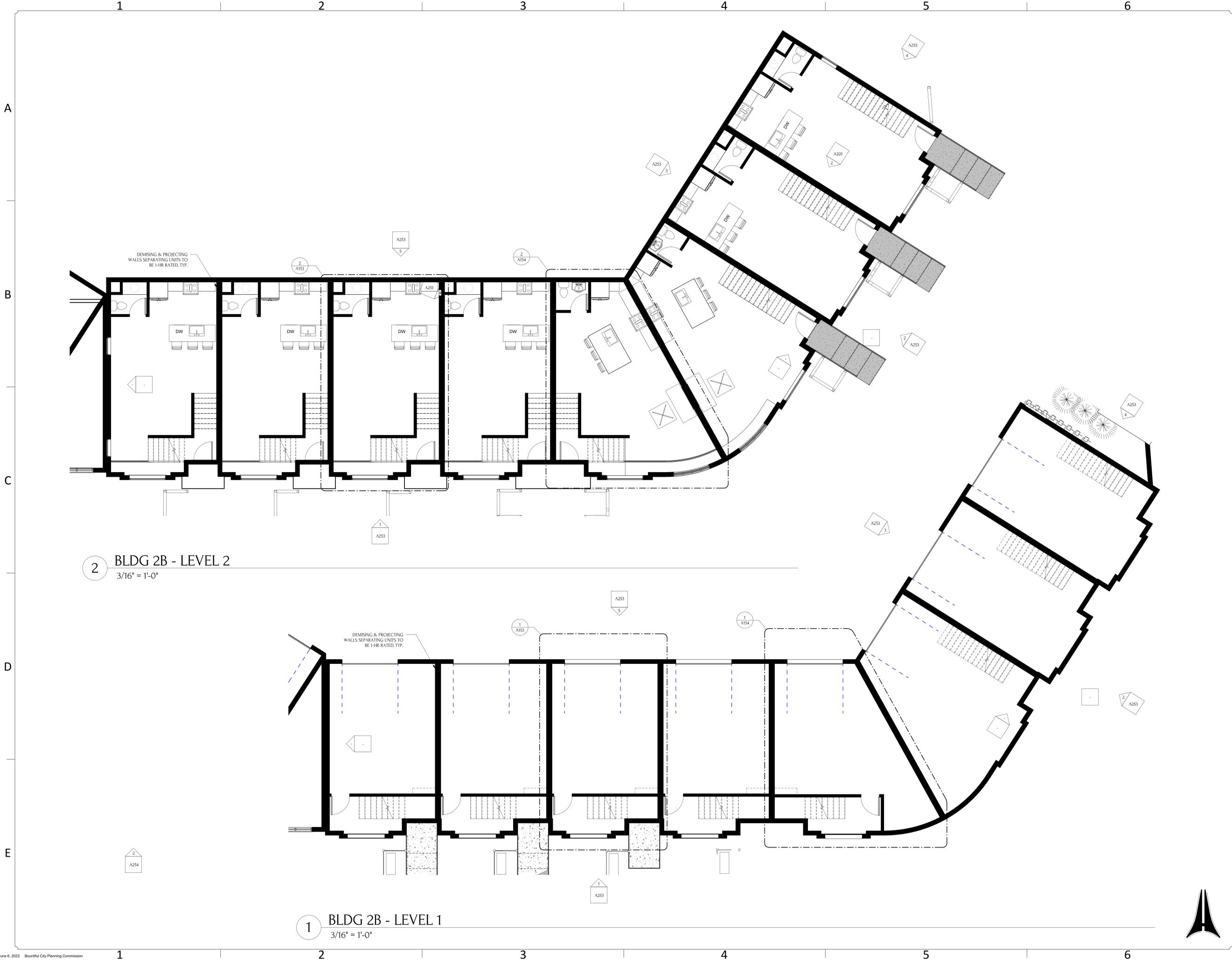
owner:  
 RENAISSANCE TOWNE  
 CENTER MIXED-USE  
 LOT 11  
 1791 S. RENAISSANCE TOWNE DRIVE  
 BOUNTIFUL, UTAH

project:  
 PROJECT STATUS  
**SITE PLAN  
 SUBMITTAL**  
 APRIL 27, 2023

REVISIONS	
DATE	DESCRIPTION

Project #: 22204.01  
 COPYRIGHT  
 Edifice Design + Architecture, LLC reserves the right to these documents and to all designs contained herein. No copies or alterations are to be made without the permission of Edifice DNA. All plans published and sold by Edifice DNA are protected under the Federal Copyright Act, Title 17 of the United States Code, and Chapter 37 of the Code of Federal Regulations.

**FLOOR  
 PLANS -  
 BLDG 2B  
 A103A**



2 BLDG 2B - LEVEL 2  
 3/16" = 1'-0"

1 BLDG 2B - LEVEL 1  
 3/16" = 1'-0"

1

2

3

4

5

6

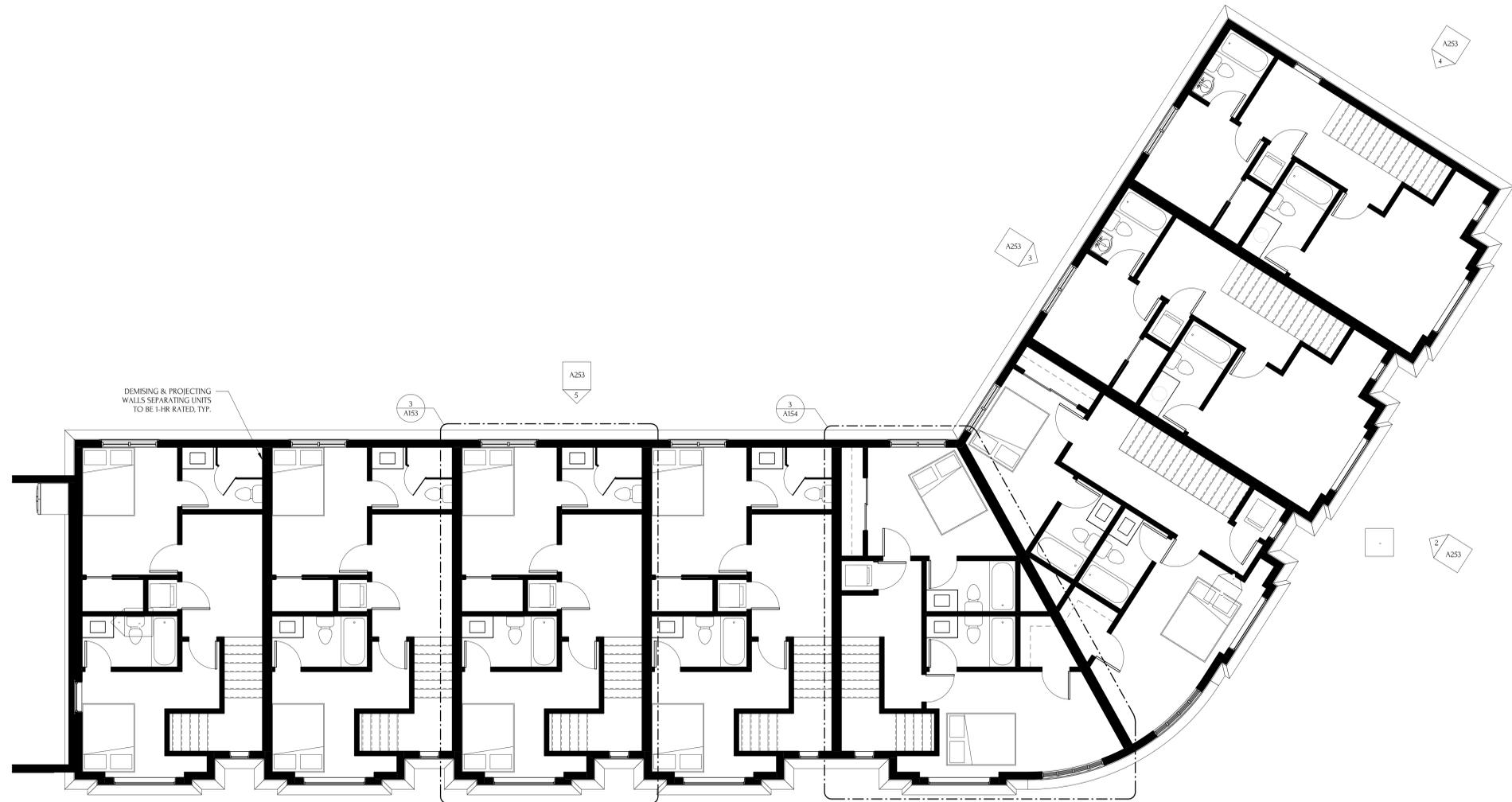
A

B

C

D

E



1 BLDG 2B - LEVEL 3  
3/16" = 1'-0"



**EDIFICE**  
DESIGN + ARCHITECTURE  
352 NORTH FLINT STREET  
KAYSVILLE, UT 84037  
385.432.3332 www.EDIFICEdna.com

stamp:

consultant:

owner:  
KNOWLTON GENERAL

project:  
RENAISSANCE TOWNE  
CENTER MIXED-USE  
LOT 11  
1791 S. RENAISSANCE TOWNE DRIVE  
BOUNTIFUL, UTAH

PROJECT STATUS  
**SITE PLAN SUBMITTAL**  
APRIL 27, 2023

REVISIONS	
DATE	DESCRIPTION

Project #: 22204.01

**COPYRIGHT**  
Edifice Design + Architecture, LLC reserves the right to these documents and to all designs contained herein. No copies or alterations are to be made without the permission of Edifice DNA. All plans published and sold by Edifice DNA are protected under the Federal Copyright Act, Title 17 of the United States Code, and Chapter 37 of the Code of Federal Regulations.

**FLOOR PLANS - BLDG 2B**  
**A103B**

1

2

3

4

5

6



**EDIFICE**  
 DESIGN + ARCHITECTURE  
 352 NORTH FLINT STREET  
 KAYSVILLE, UT 84037  
 385.432.3332 www.EDIFICEdna.com

stamp:  
 consultant:  
 KNOWLTON GENERAL  
 owner:

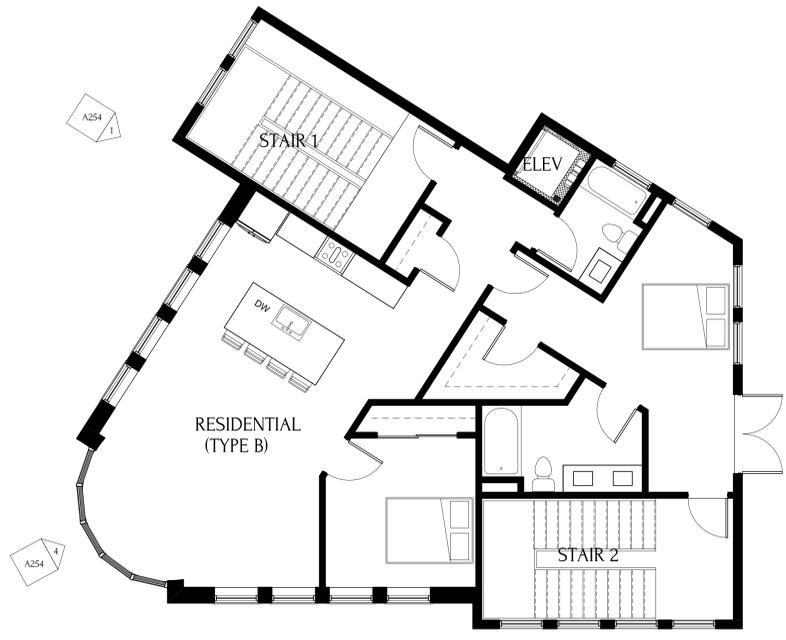
RENAISSANCE TOWNE  
 CENTER MIXED-USE  
 LOT 11  
 1791 S. RENAISSANCE TOWNE DRIVE  
 BOUNTIFUL, UTAH

project:  
 PROJECT STATUS  
**SITE PLAN  
 SUBMITTAL**  
 APRIL 27, 2023

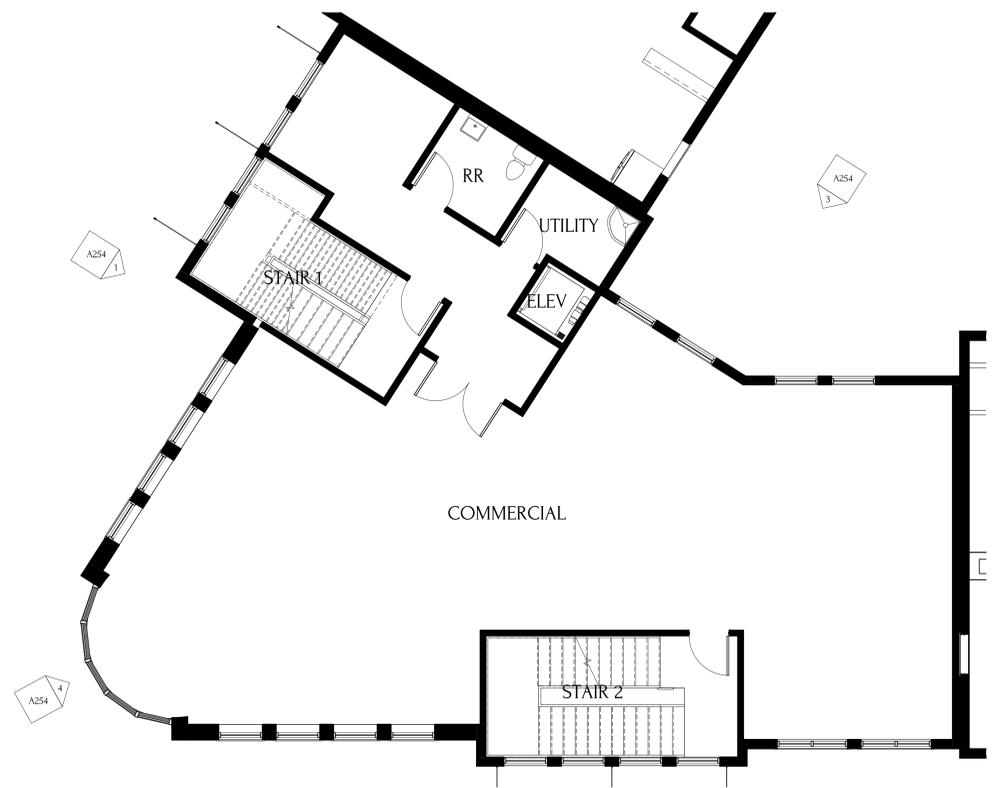
REVISIONS	
DATE	DESCRIPTION

Project #: 22204.01  
 COPYRIGHT  
 Edifice Design + Architecture, LLC reserves the right to these documents and to all designs contained herein. No copies or alterations are to be made without the permission of Edifice DNA. All plans published and sold by Edifice DNA are protected under the Federal Copyright Act, Title 17 of the United States Code, and Chapter 37 of the Code of Federal Regulations.

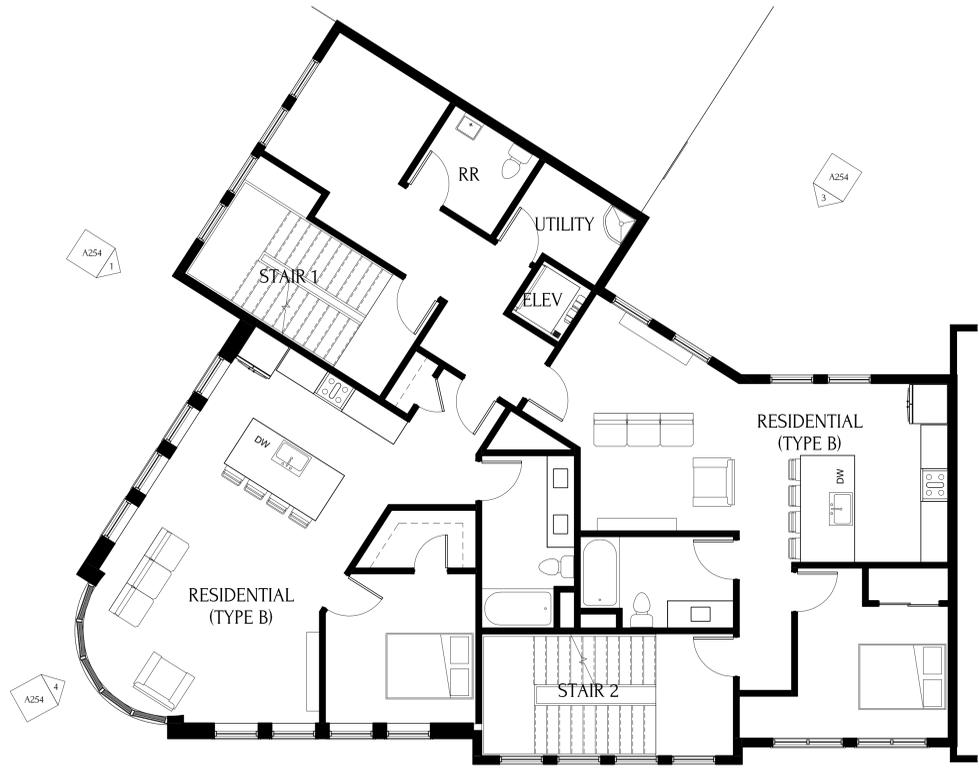
**FLOOR  
 PLANS -  
 COMMERCIAL**  
**A104**



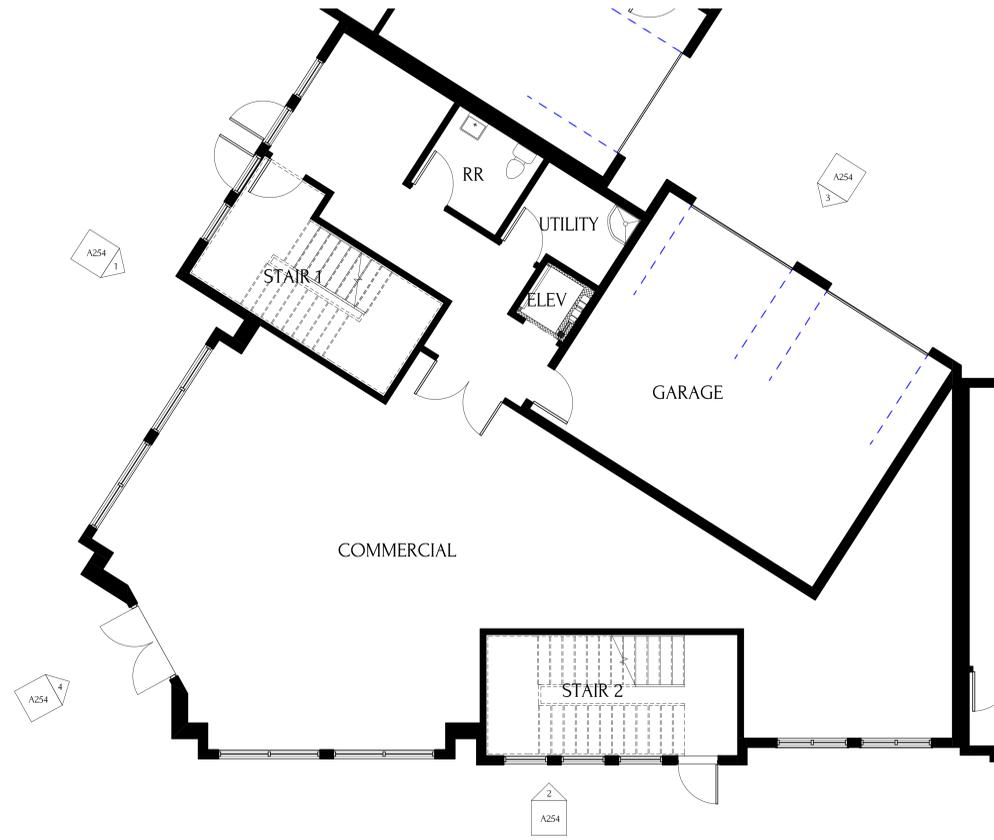
4 RESIDENTIAL- LEVEL 4  
 3/16" = 1'-0"



2 COMMERCIAL - LEVEL 2  
 3/16" = 1'-0"



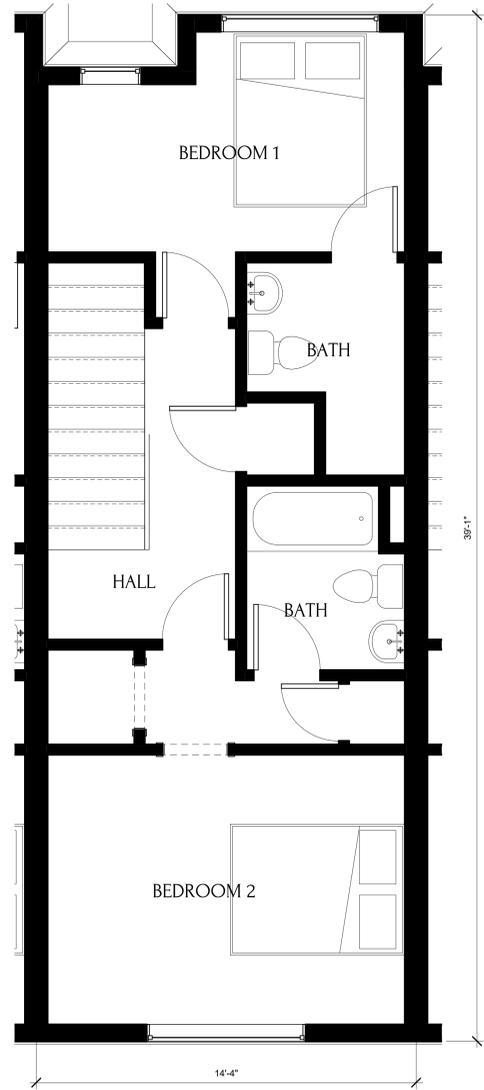
3 RESIDENTIAL- LEVEL 3  
 3/16" = 1'-0"



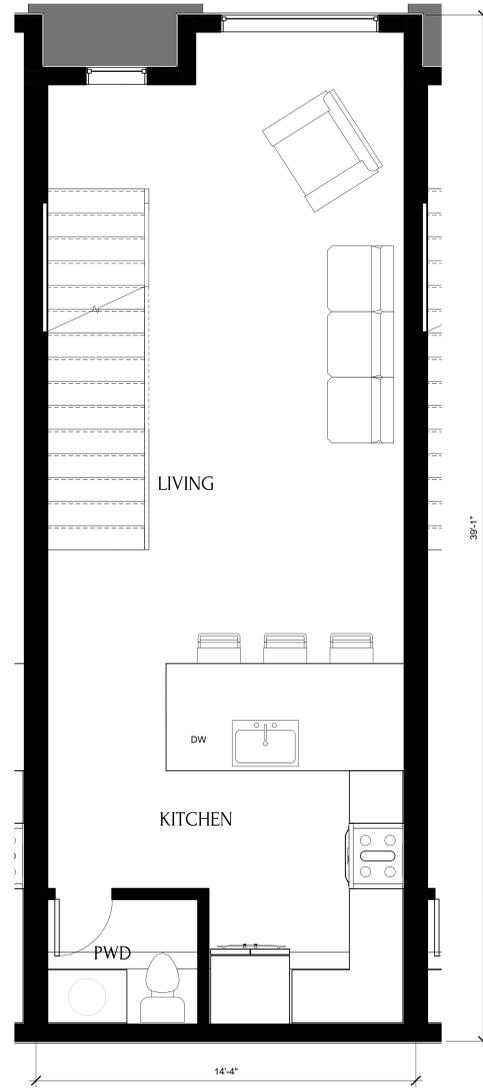
1 COMMERCIAL - LEVEL 1  
 3/16" = 1'-0"



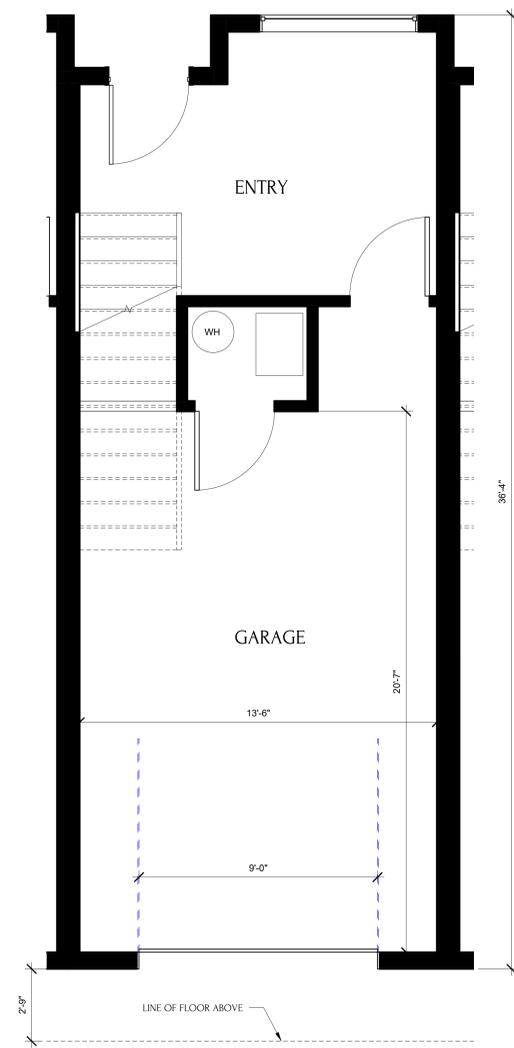
COPYRIGHT Edifice Design and Architecture, LLC reserves the rights to these documents and to all design contained herein. No copies or alterations are to be made without the permission of Edifice DVA. All plans published and sold by Edifice DVA are protected under the Federal Copyright Act, Title 17 of the United States Code, and Chapter 37 of the Code of Federal Regulations.



3 UNIT 1A - LEVEL 3  
3/8" = 1'-0"



2 UNIT 1A - LEVEL 2  
3/8" = 1'-0"



1 UNIT 1A - LEVEL 1  
3/8" = 1'-0"



**EDIFICE**  
DESIGN + ARCHITECTURE

352 NORTH FLINT STREET  
KAYSVILLE, UT 84037  
385.432.3332 www.EDIFICEdva.com

stamp:

consultant:

RENAISSANCE TOWNE  
CENTER MIXED-USE  
LOT 11  
1791 S. RENAISSANCE TOWNE DRIVE  
BOUNTIFUL, UTAH

project:

PROJECT STATUS  
**SITE PLAN**  
**SUBMITTAL**  
APRIL 27, 2023

REVISIONS

DATE	DESCRIPTION

Project #: 22204.01

**ENLARGED  
PLANS -  
UNIT 1A  
A151**

1

2

3

4

5

6

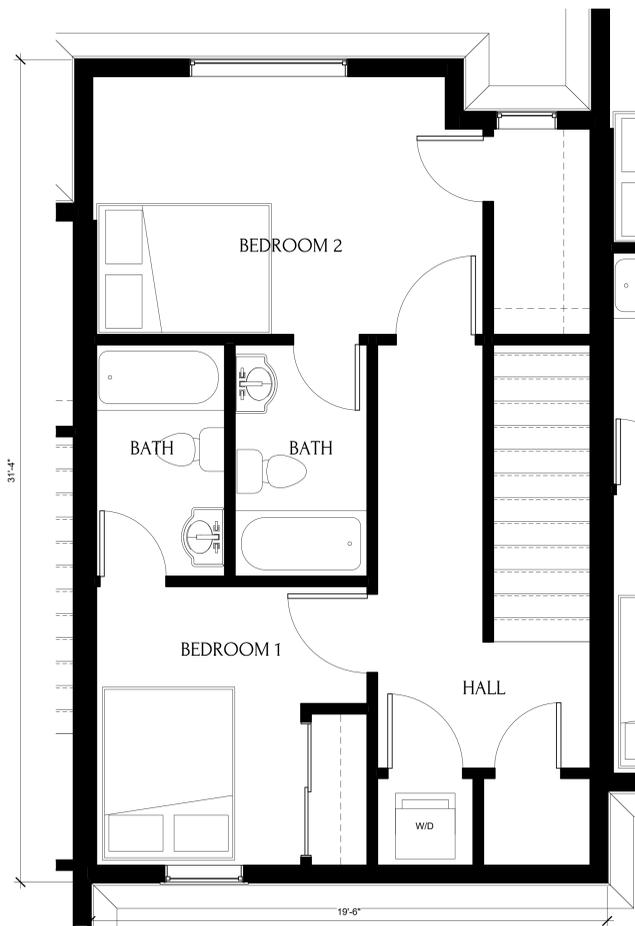
A

B

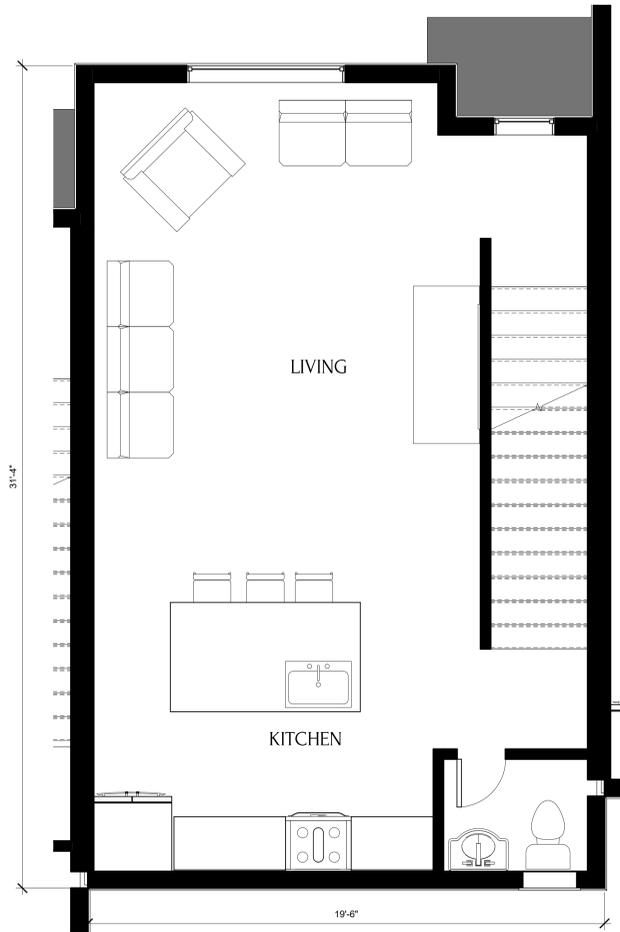
C

D

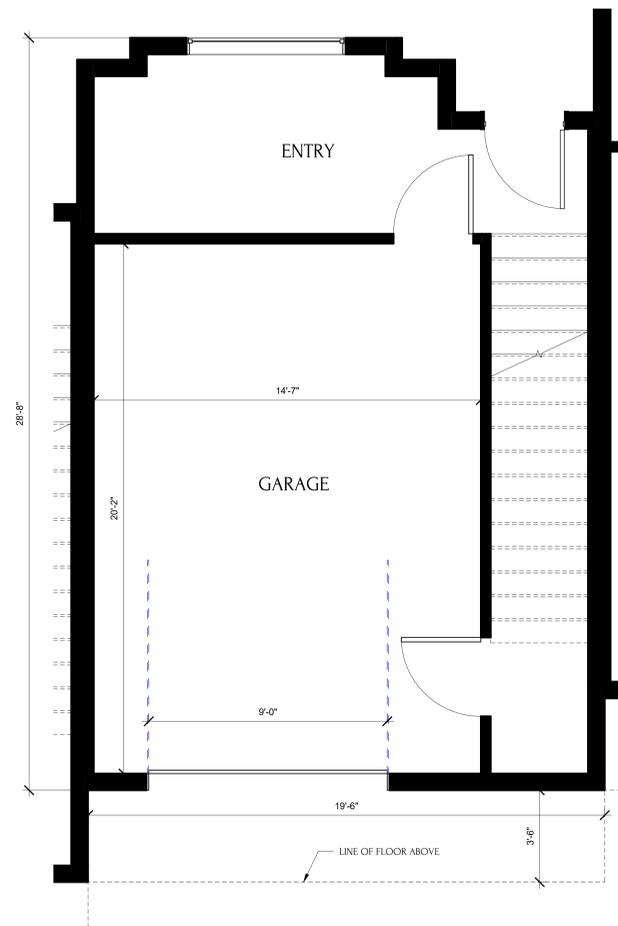
E



3 UNIT 2A - LEVEL 3  
3/8" = 1'-0"



2 UNIT 2A - LEVEL 2  
3/8" = 1'-0"



1 UNIT 2A - LEVEL 1  
3/8" = 1'-0"



**EDIFICE**  
DESIGN + ARCHITECTURE  
352 NORTH FLINT STREET  
KAYSVILLE, UT 84037  
385.432.3332 www.EDIFICEdna.com

stamp:

consultant:

KNOWLTON GENERAL

owner:

RENAISSANCE TOWNE  
CENTER MIXED-USE  
LOT 11  
1791 S. RENAISSANCE TOWNE DRIVE  
BOUNTIFUL, UTAH

project:

PROJECT STATUS  
**SITE PLAN  
SUBMITTAL**  
APRIL 27, 2023

REVISIONS	
DATE	DESCRIPTION

Project #: 22204.01

**COPYRIGHT**  
Edifice Design + Architecture, LLC reserves the right to these documents and to all designs contained herein. No copies or alterations are to be made without the permission of Edifice DNA. All plans published and sold by Edifice DNA are protected under the Federal Copyright Act, Title 17 of the United States Code, and Chapter 37 of the Code of Federal Regulations.

**ENLARGED  
PLANS -  
UNIT 2A**  
**A152**

1

2

3

4

5

6

1

2

3

4

5

6

A

B

C

D

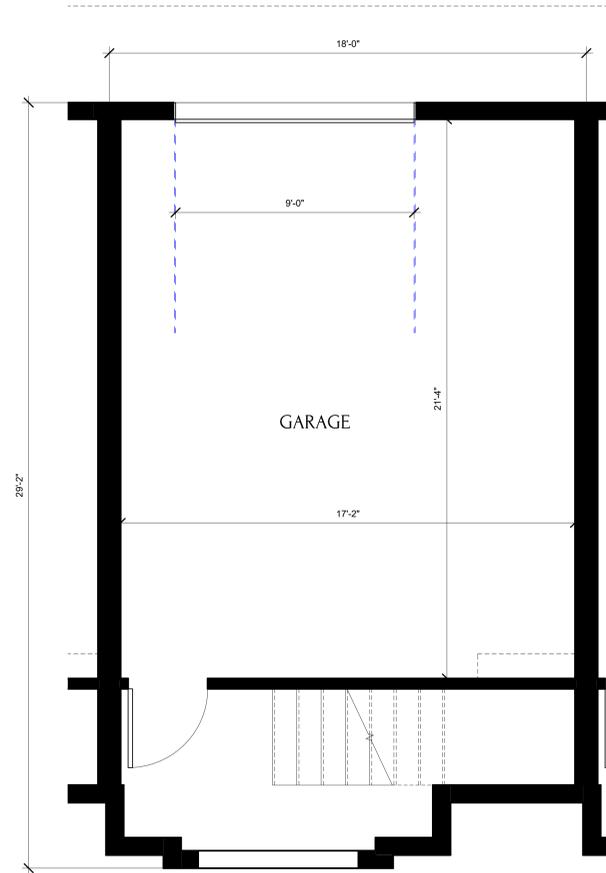
E



3 UNIT 2B - LEVEL 3  
3/8" = 1'-0"



2 UNIT 2B - LEVEL 2  
3/8" = 1'-0"



1 UNIT 2B - LEVEL 1  
3/8" = 1'-0"



**EDIFICE**  
DESIGN + ARCHITECTURE  
352 NORTH FLINT STREET  
KAYSVILLE, UT 84037  
385.432.3332 www.EDIFICEdna.com

stamp:

consultant:

KNOWLTON GENERAL

owner:

RENAISSANCE TOWNE  
CENTER MIXED-USE  
LOT 11  
1791 S. RENAISSANCE TOWNE DRIVE  
BOUNTIFUL, UTAH

project:

PROJECT STATUS  
**SITE PLAN  
SUBMITTAL**  
APRIL 27, 2023

REVISIONS	
DATE	DESCRIPTION

Project #: 22204.01

**COPYRIGHT**  
Edifice Design + Architecture, LLC reserves the rights to these documents and to all designs contained herein. No copies or alterations are to be made without the permission of Edifice DNA. All plans published and sold by Edifice DNA are protected under the Federal Copyright Act, Title 17 of the United States Code, and Chapter 37 of the Code of Federal Regulations.

**ENLARGED  
PLANS -  
UNIT 2B  
A153**

1

2

3

4

5

6



**EDIFICE**  
 DESIGN + ARCHITECTURE  
 352 NORTH FLINT STREET  
 KAYSVILLE, UT 84037  
 385.432.3332 www.EDIFICEdna.com

stamp:

consultant:

KNOWLTON GENERAL

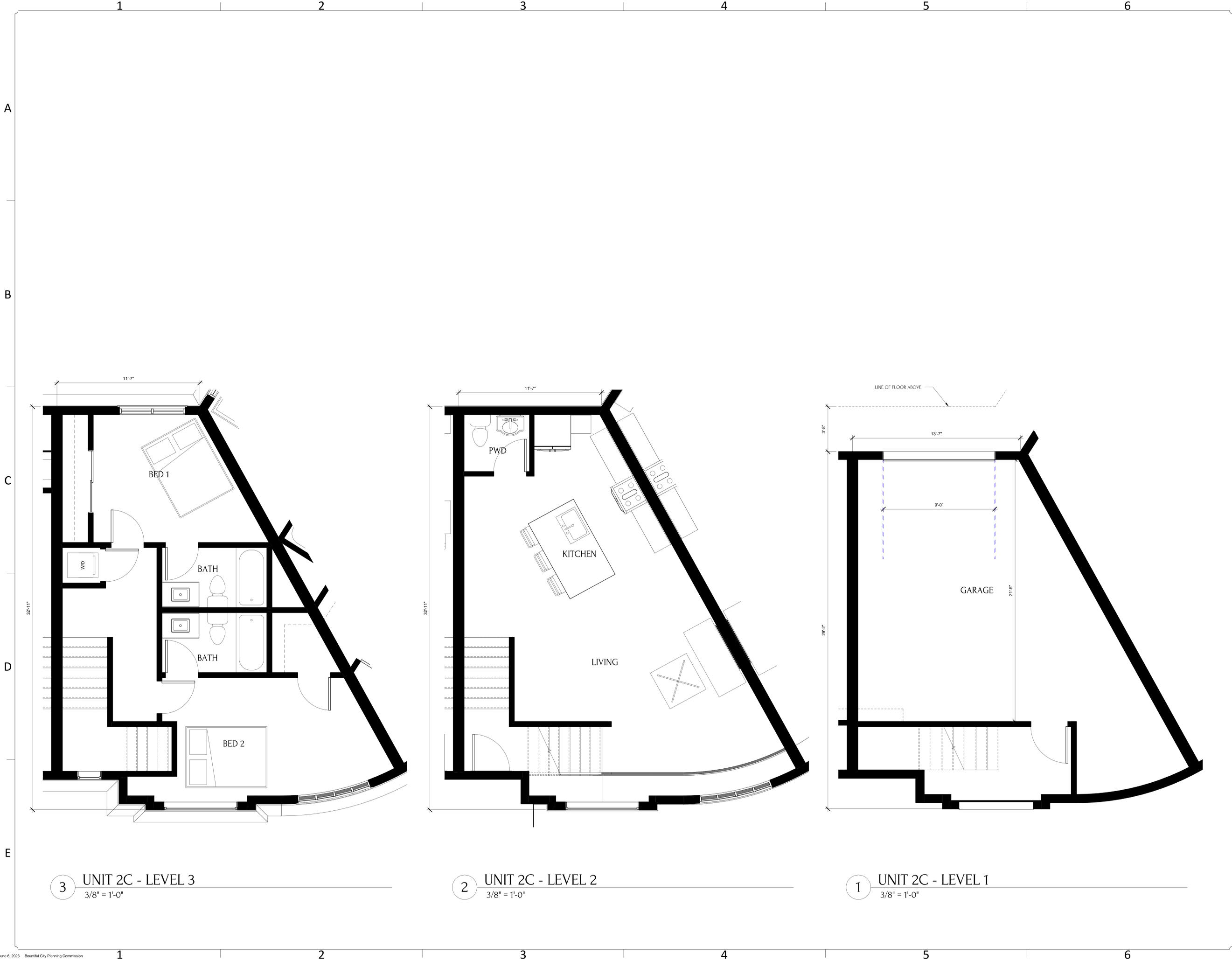
owner:  
 RENAISSANCE TOWNE  
 CENTER MIXED-USE  
 LOT 11  
 1791 S. RENAISSANCE TOWNE DRIVE  
 BOUNTIFUL, UTAH

project:  
 PROJECT STATUS  
**SITE PLAN  
 SUBMITTAL**  
 APRIL 27, 2023

REVISIONS	
DATE	DESCRIPTION

Project #: 22204.01  
 COPYRIGHT  
 Edifice Design + Architecture, LLC reserves the right to these documents and to all designs contained herein. No copies or alterations are to be made without the permission of Edifice DNA. All plans published and sold by Edifice DNA are protected under the Federal Copyright Act, Title 17 of the United States Code, and Chapter 37 of the Code of Federal Regulations.

**ENLARGED  
 PLANS -  
 UNIT 2C  
 A154**



3 UNIT 2C - LEVEL 3  
 3/8" = 1'-0"

2 UNIT 2C - LEVEL 2  
 3/8" = 1'-0"

1 UNIT 2C - LEVEL 1  
 3/8" = 1'-0"

1 2 3 4 5 6

A

B

C

D

E



1 WEST ELEVATION OVERALL  
1/8" = 1'-0"



2 NORTH ELEVATION OVERALL  
1/8" = 1'-0"

EXTERIOR MATERIAL LEGEND	
	TYPE: THIN BRICK VENER COLOR: RUSTIC RED MANUF.: TBD
	TYPE: STONE VENER COLOR: LIGHT GRAY MANUF.: TBD
	TYPE: VERTICAL FIBER CEMENT SIDING COLOR: BEIGE MANUF.: TBD
	TYPE: 3-COAT STUCCO COLOR: BEIGE MANUF.: TBD
	TYPE: 3-COAT STUCCO COLOR: GRAY MANUF.: TBD
	TYPE: METAL FASCIA / STOREFRONT COLOR: ANODIZED DARK GRAY ALUMINUM MANUF.: TBD
	TYPE: GRC TRIM AND PANELS COLOR: WHITE FINISH MANUF.: TBD

GENERAL NOTES	
1.	GRADING SHOWN IS SCHEMATIC. POSITIVE DRAINAGE AWAY FROM BUILDING TO BE PROVIDED. SEE CIVIL FOR GRADING.
2.	6" MINIMUM SEPARATION BETWEEN EARTH AND ANY WOOD CONSTRUCTION. SEE CIVIL FOR GRADING.



**EDIFICE**  
DESIGN + ARCHITECTURE  
352 NORTH FLINT STREET  
KAYSVILLE, UT 84037  
385.432.3332 www.EDIFICEdna.com

stamp:

consultant:

owner:

RENAISSANCE TOWNE  
CENTER MIXED-USE  
LOT 11  
1791 S. RENAISSANCE TOWNE DRIVE  
BOUNTIFUL, UTAH

project:  
PROJECT STATUS  
**SITE PLAN  
SUBMITTAL**  
APRIL 27, 2023

REVISIONS	
DATE	DESCRIPTION

Project #: 22204.01  
COPYRIGHT  
Edifice Design + Architecture, LLC reserves the rights to these documents and to all designs contained herein. No copies or alterations are to be made without the permission of Edifice DNA. All plans published and sold by Edifice DNA are protected under the Federal Copyright Act, Title 17 of the United States Code, and Chapter 37 of the Code of Federal Regulations.

**ELEVATIONS  
- OVERALL**  
**A201**

1

2

3

4

5

6

A

B

C

D

E



1 EAST ELEVATION OVERALL  
1/8" = 1'-0"



2 SOUTH ELEVATION OVERALL  
1/8" = 1'-0"

EXTERIOR MATERIAL LEGEND	
	TYPE: THIN BRICK VENER COLOR: RUSTIC RED MANUF.: TBD
	TYPE: STONE VENER COLOR: LIGHT GRAY MANUF.: TBD
	TYPE: VERTICAL FIBER CEMENT SIDING COLOR: BEIGE MANUF.: TBD
	TYPE: 3-COAT STUCCO COLOR: BEIGE MANUF.: TBD
	TYPE: 3-COAT STUCCO COLOR: GRAY MANUF.: TBD
	TYPE: METAL FASCIA / STOREFRONT COLOR: ANODIZED DARK GRAY ALUMINUM MANUF.: TBD
	TYPE: GRC TRIM AND PANELS COLOR: WHITE FINISH MANUF.: TBD

GENERAL NOTES	
1.	GRADING SHOWN IS SCHEMATIC. POSITIVE DRAINAGE AWAY FROM BUILDING TO BE PROVIDED. SEE CIVIL FOR GRADING.
2.	6" MINIMUM SEPARATION BETWEEN EARTH AND ANY WOOD CONSTRUCTION. SEE CIVIL FOR GRADING.



**EDIFICE**  
DESIGN + ARCHITECTURE  
352 NORTH FLINT STREET  
KAYSVILLE, UT 84037  
385.432.3332 www.EDIFICEdna.com

stamp:

consultant:

KNOWLTON GENERAL

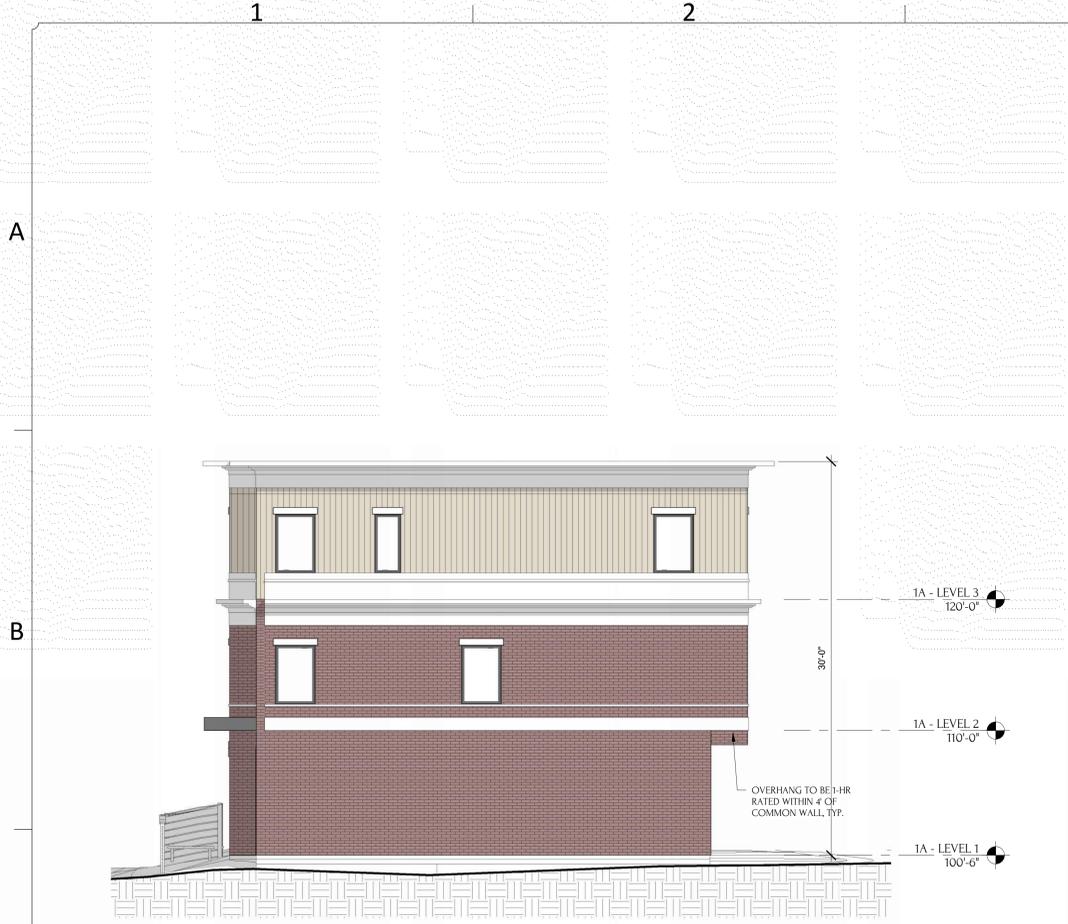
owner:  
RENAISSANCE TOWNE  
CENTER MIXED-USE  
LOT 11  
1791 S. RENAISSANCE TOWNE DRIVE  
BOUNTIFUL, UTAH

project:  
PROJECT STATUS  
**SITE PLAN**  
**SUBMITTAL**  
APRIL 27, 2023

REVISIONS	
DATE	DESCRIPTION

Project #: 22204.01  
COPYRIGHT  
Edifice Design + Architecture, LLC reserves the rights to these documents and to all designs contained herein. No copies or alterations are to be made without the permission of Edifice DNA. All plans published and sold by Edifice DNA are protected under the Federal Copyright Act, Title 17 of the United States Code, and Chapter 37 of the Code of Federal Regulations.

**ELEVATIONS - OVERALL**  
**A202**



4 BLDG 1A - WEST ELEVATION  
3/16" = 1'-0"

EXTERIOR MATERIAL CALCULATIONS

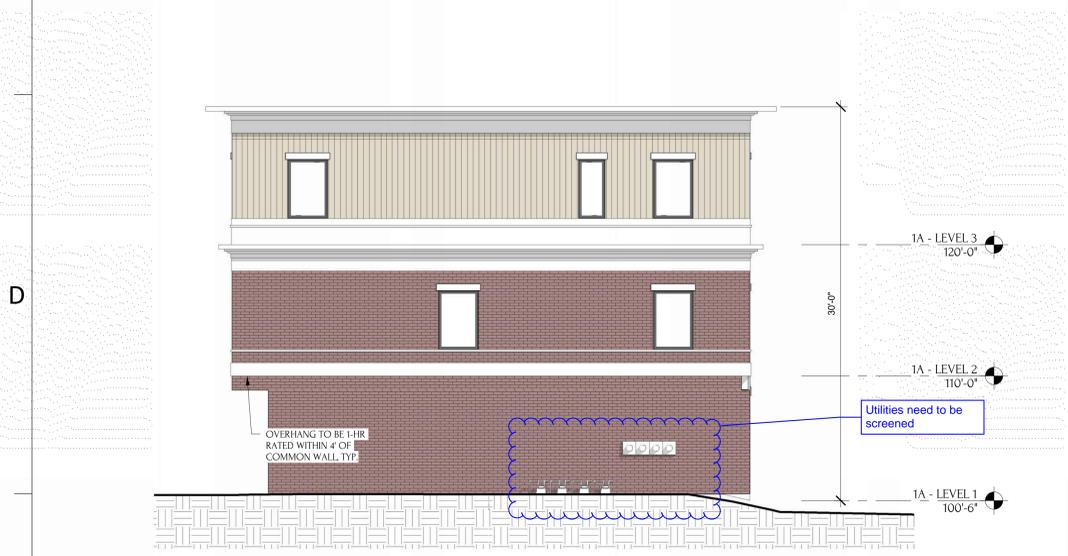
MATERIAL	AREA	% OF TOTAL
BRICK	723 SF	55%
STONE	0 SF	0%
STUCCO (BEIGE) 0 SF	0 SF	0%
STUCCO (GRAY) 0 SF	0 SF	0%
VERTICAL SIDING	346 SF	27%
GRC	234 SF	18%
TOTAL	1303 SF	100%



3 BLDG 1A - SOUTH ELEVATION  
3/16" = 1'-0"

EXTERIOR MATERIAL CALCULATIONS

MATERIAL	AREA	% OF TOTAL
BRICK	92 SF	5%
STONE	0 SF	0%
STUCCO (BEIGE) 0 SF	0 SF	0%
STUCCO (GRAY) 0 SF	0 SF	0%
VERTICAL SIDING	1351 SF	76%
GRC	347 SF	19%
TOTAL	1790 SF	100%



2 BLDG 1A - EAST ELEVATION  
3/16" = 1'-0"

EXTERIOR MATERIAL CALCULATIONS

MATERIAL	AREA	% OF TOTAL
BRICK	729 SF	55%
STONE	0 SF	0%
STUCCO (BEIGE) 0 SF	0 SF	0%
STUCCO (GRAY) 0 SF	0 SF	0%
VERTICAL SIDING	367 SF	27%
GRC	238 SF	18%
TOTAL	1334 SF	100%



1 BLDG 1A - NORTH ELEVATION  
3/16" = 1'-0"

EXTERIOR MATERIAL CALCULATIONS

MATERIAL	AREA	% OF TOTAL
BRICK	828 SF	51%
STONE	0 SF	0%
STUCCO (BEIGE) 0 SF	0 SF	0%
STUCCO (GRAY) 0 SF	0 SF	0%
VERTICAL SIDING	445 SF	27%
GRC	347 SF	22%
TOTAL	1620 SF	100%

EXTERIOR MATERIAL LEGEND

	TYPE: THIN BRICK VENEER COLOR: RUSTIC RED MANUF.: TBD
	TYPE: STONE VENEER COLOR: LIGHT GRAY MANUF.: TBD
	TYPE: VERTICAL FIBER CEMENT SIDING COLOR: BEIGE MANUF.: TBD
	TYPE: 3-COAT STUCCO COLOR: BEIGE MANUF.: TBD
	TYPE: 3-COAT STUCCO COLOR: GRAY MANUF.: TBD
	TYPE: METAL FASCIA / STOREFRONT COLOR: ANODIZED DARK GRAY ALUMINUM MANUF.: TBD
	TYPE: GRC TRIM AND PANELS COLOR: WHITE FINISH MANUF.: TBD

GENERAL NOTES

- GRADING SHOWN IS SCHEMATIC. POSITIVE DRAINAGE AWAY FROM BUILDING TO BE PROVIDED. SEE CIVIL FOR GRADING.
- 6" MINIMUM SEPARATION BETWEEN EARTH AND ANY WOOD CONSTRUCTION. SEE CIVIL FOR GRADING.



**EDIFICE**  
DESIGN + ARCHITECTURE  
352 NORTH FLINT STREET  
KAYSVILLE, UT 84037  
385.432.3332 www.EDIFICEdna.com

stamp:

consultant:  
KNOWLTON GENERAL

owner:  
RENAISSANCE TOWNE  
CENTER MIXED-USE  
LOT 11  
1791 S. RENAISSANCE TOWNE DRIVE  
BOUNTIFUL, UTAH

project:  
PROJECT STATUS  
**SITE PLAN SUBMITTAL**  
APRIL 27, 2023

REVISIONS	
DATE	DESCRIPTION

Project #: 22204.01

COPYRIGHT  
Edifice Design + Architecture, LLC reserves the rights to these documents and to all designs contained herein. No copies or alterations are to be made without the permission of Edifice DNA. All plans published and sold by Edifice DNA are protected under the Federal Copyright Act, Title 17 of the United States Code, and Chapter 37 of the Code of Federal Regulations.

**ENLARGED ELEVATIONS - BLDG 1A**  
A251



EXTERIOR MATERIAL LEGEND	
	TYPE: THIN BRICK VENEER COLOR: RUSTIC RED MANUF.: TBD
	TYPE: STONE VENEER COLOR: LIGHT GRAY MANUF.: TBD
	TYPE: VERTICAL FIBER CEMENT SIDING COLOR: BEIGE MANUF.: TBD
	TYPE: 3-COAT STUCCO COLOR: BEIGE MANUF.: TBD
	TYPE: 3-COAT STUCCO COLOR: GRAY MANUF.: TBD
	TYPE: METAL FASCIA / STOREFRONT COLOR: ANODIZED DARK GRAY ALUMINUM MANUF.: TBD
	TYPE: GFRc TRIM AND PANELS COLOR: WHITE FINISH MANUF.: TBD

**GENERAL NOTES**

1. GRADING SHOWN IS SCHEMATIC. POSITIVE DRAINAGE AWAY FROM BUILDING TO BE PROVIDED. SEE CIVIL FOR GRADING.
2. 6" MINIMUM SEPARATION BETWEEN EARTH AND ANY WOOD CONSTRUCTION. SEE CIVIL FOR GRADING.

2 BLDG 2A - WEST ELEVATION  
3/16" = 1'-0"

**EXTERIOR MATERIAL CALCULATIONS**

MATERIAL	AREA	% OF TOTAL
BRICK	1847 SF	45%
STONE	365 SF	9%
STUCCO (BEIGE) 0 SF	0 SF	0%
STUCCO (GRAY) 0 SF	0 SF	0%
VERTICAL SIDING	1138 SF	28%
GFRc	204 SF	5%
TOTAL	4091 SF	100%



1 BLDG 2A - EAST ELEVATION  
3/16" = 1'-0"

**EXTERIOR MATERIAL CALCULATIONS**

MATERIAL	AREA	% OF TOTAL
BRICK	0 SF	0%
STONE	0 SF	0%
STUCCO (BEIGE) 1660 SF	1660 SF	51%
STUCCO (GRAY) 0 SF	0 SF	0%
VERTICAL SIDING	910 SF	29%
GFRc	204 SF	20%
TOTAL	3273 SF	100%



3 BLDG 2A - NORTH ELEVATION  
3/16" = 1'-0"

**EXTERIOR MATERIAL CALCULATIONS**

MATERIAL	AREA	% OF TOTAL
BRICK	538 SF	35%
STONE	0 SF	0%
STUCCO (BEIGE) 292 SF	292 SF	19%
STUCCO (GRAY) 0 SF	0 SF	0%
VERTICAL SIDING	407 SF	26%
GFRc	323 SF	20%
TOTAL	1560 SF	100%



**EDIFICE**  
DESIGN + ARCHITECTURE  
352 NORTH FLINT STREET  
KAYSVILLE, UT 84037  
385.432.3332 www.EDIFICEut.com

stamp:

consultant:

owner:

RENAISSANCE TOWNE  
CENTER MIXED-USE  
LOT 11  
1791 S. RENAISSANCE TOWNE DRIVE  
BOUNTIFUL, UTAH

project:  
PROJECT STATUS  
**SITE PLAN  
SUBMITTAL**  
APRIL 27, 2023

REVISIONS

DATE	DESCRIPTION

Project #: 22204.01  
COPYRIGHT  
Edifice Design + Architecture, LLC reserves the rights to these documents and to all designs contained herein. No copies or alterations are to be made without the permission of Edifice DHA. All plans published and sold by Edifice DHA are protected under the Federal Copyright Act, Title 17 of the United States Code, and Chapter 37 of the Code of Federal Regulations.

**ENLARGED ELEVATIONS - BLDG 2A**  
**A252**



1 BLDG 2B - SOUTH ELEVATION  
3/16" = 1'-0"

EXTERIOR MATERIAL CALCULATIONS

MATERIAL	AREA	% OF TOTAL
BRICK	1318 SF	39%
STONE	0 SF	0%
STUCCO (BEIGE) 0 SF	0 SF	0%
STUCCO (GRAY) 0 SF	0 SF	0%
VERTICAL SIDING	1287 SF	38%
GRC	780 SF	23%
TOTAL	3385 SF	100%

EXTERIOR MATERIAL LEGEND

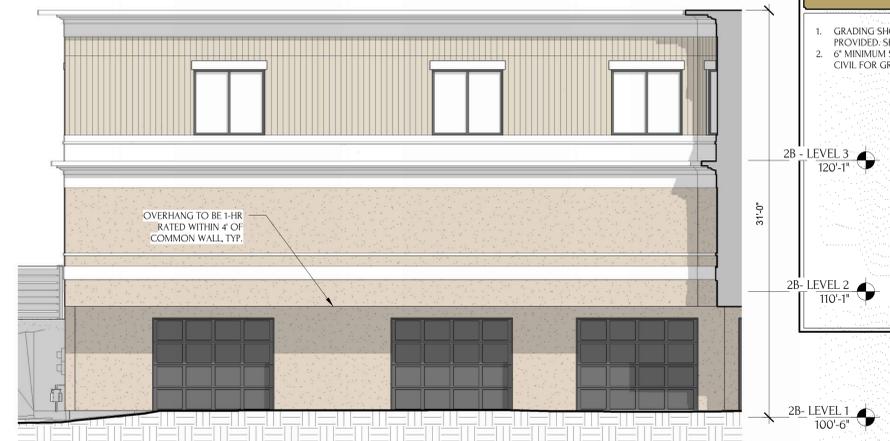
	TYPE: THIN BRICK VENEER COLOR: RUSTIC RED MANUF.: TBD
	TYPE: STONE VENEER COLOR: LIGHT GRAY MANUF.: TBD
	TYPE: VERTICAL FIBER CEMENT SIDING COLOR: BEIGE MANUF.: TBD
	TYPE: 3-COAT STUCCO COLOR: BEIGE MANUF.: TBD
	TYPE: 3-COAT STUCCO COLOR: GRAY MANUF.: TBD
	TYPE: METAL FASCIA / STOREFRONT COLOR: ANODIZED DARK GRAY ALUMINUM MANUF.: TBD
	TYPE: GRC TRIM AND PANELS COLOR: WHITE FINISH MANUF.: TBD



2 BLDG 2B - SOUTHEAST ELEVATION  
3/16" = 1'-0"

EXTERIOR MATERIAL CALCULATIONS

MATERIAL	AREA	% OF TOTAL
BRICK	865 SF	39%
STONE	0 SF	0%
STUCCO (BEIGE) 0 SF	0 SF	0%
STUCCO (GRAY) 0 SF	0 SF	0%
VERTICAL SIDING	839 SF	38%
GRC	523 SF	23%
TOTAL	2227 SF	100%



3 BLDG 2B - NORTHWEST ELEVATION  
3/16" = 1'-0"

EXTERIOR MATERIAL CALCULATIONS

MATERIAL	AREA	% OF TOTAL
BRICK	0 SF	0%
STONE	0 SF	0%
STUCCO (BEIGE) 725 SF	725 SF	47%
STUCCO (GRAY) 0 SF	0 SF	0%
VERTICAL SIDING	471 SF	31%
GRC	342 SF	22%
TOTAL	1538 SF	100%

GENERAL NOTES

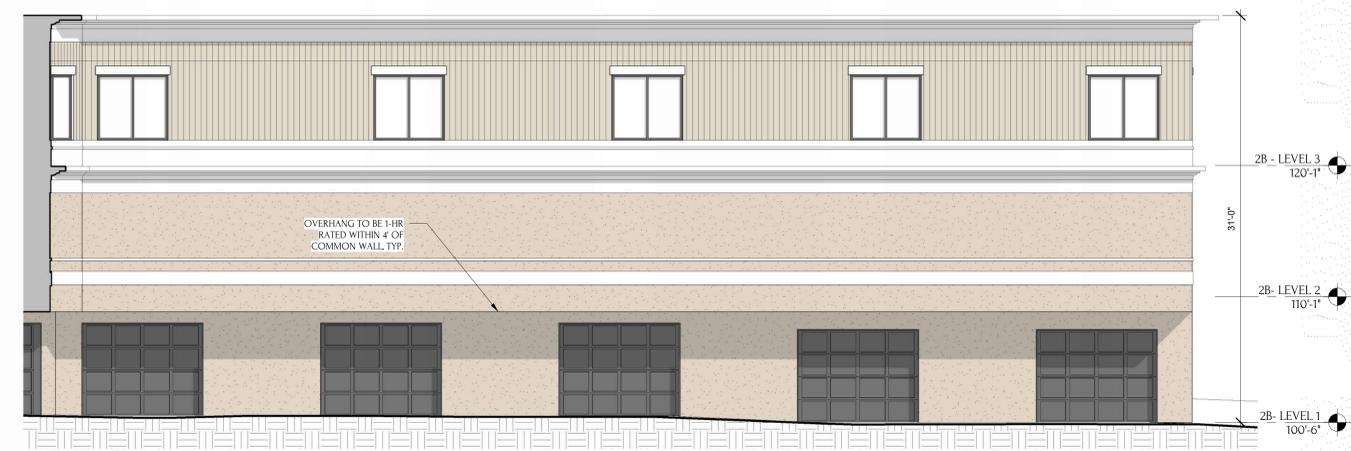
1. GRADING SHOWN IS SCHEMATIC. POSITIVE DRAINAGE AWAY FROM BUILDING TO BE PROVIDED. SEE CIVIL FOR GRADING.
2. 6" MINIMUM SEPARATION BETWEEN EARTH AND ANY WOOD CONSTRUCTION. SEE CIVIL FOR GRADING.



4 BLDG 2B - NORTHEAST ELEVATION  
3/16" = 1'-0"

EXTERIOR MATERIAL CALCULATIONS

MATERIAL	AREA	% OF TOTAL
BRICK	314 SF	30%
STONE	0 SF	0%
STUCCO (BEIGE) 206 SF	206 SF	19%
STUCCO (GRAY) 0 SF	0 SF	0%
VERTICAL SIDING	327 SF	31%
GRC	219 SF	20%
TOTAL	1066 SF	100%



5 BLDG 2B - NORTH ELEVATION  
3/16" = 1'-0"

EXTERIOR MATERIAL CALCULATIONS

MATERIAL	AREA	% OF TOTAL
BRICK	0 SF	0%
STONE	0 SF	0%
STUCCO (BEIGE) 1325 SF	1325 SF	48%
STUCCO (GRAY) 0 SF	0 SF	0%
VERTICAL SIDING	830 SF	30%
GRC	60 SF	2%
TOTAL	2755 SF	100%



**EDIFICE**  
DESIGN + ARCHITECTURE  
352 NORTH FLINT STREET  
KAYSVILLE, UT 84037  
385.432.3332 www.EDIFICEdn.com

stamp:

consultant:  
KNOWLTON GENERAL

owner:  
RENAISSANCE TOWNE  
CENTER MIXED-USE  
LOT 11  
1791 S. RENAISSANCE TOWNE DRIVE  
BOUNTIFUL, UTAH

project:  
PROJECT STATUS  
**SITE PLAN  
SUBMITTAL**  
APRIL 27, 2023

REVISIONS

DATE	DESCRIPTION

Project #: 22204.01  
COPYRIGHT  
Edifice Design + Architecture, LLC reserves the right to these documents and to all designs contained herein. No copies or alterations are to be made without the permission of Edifice DnA. All plans published and sold by Edifice DnA are protected under the Federal Copyright Act, Title 17 of the United States Code, and Chapter 37 of the Code of Federal Regulations.

**ENLARGED ELEVATIONS  
- BLDG 2B**  
A253



1 NORTHWEST ELEVATION  
3/16" = 1'-0"

EXTERIOR MATERIAL CALCULATIONS

MATERIAL	AREA	% OF TOTAL
BRICK	797 SF	34%
STONE	644 SF	27%
STUCCO (BEIGE) 415 SF	18%	
STUCCO (GRAY) 175 SF	7%	
VERTICAL SIDING	0 SF	0%
GERC	328 SF	14%
TOTAL	2616 SF	100%



2 COMMERCIAL - SOUTH ELEVATION  
3/16" = 1'-0"

EXTERIOR MATERIAL CALCULATIONS

MATERIAL	AREA	% OF TOTAL
BRICK	807 SF	31%
STONE	736 SF	28%
STUCCO (BEIGE) 399 SF	15%	
STUCCO (GRAY) 232 SF	9%	
VERTICAL SIDING	0 SF	0%
GERC	442 SF	17%
TOTAL	2616 SF	100%



3 COMMERCIAL - NORTEAST ELEVATION  
3/16" = 1'-0"

EXTERIOR MATERIAL CALCULATIONS

MATERIAL	AREA	% OF TOTAL
BRICK	0 SF	0%
STONE	0 SF	0%
STUCCO (BEIGE) 1993 SF	80%	
STUCCO (GRAY) 180 SF	7%	
VERTICAL SIDING	0 SF	0%
GERC	312 SF	13%
TOTAL	2485 SF	100%



4 SOUTHWEST CORNER ELEVATION  
3/16" = 1'-0"

EXTERIOR MATERIAL LEGEND

	TYPE: THIN BRICK VENEER COLOR: RUSTIC RED MANUF.: TBD
	TYPE: STONE VENEER COLOR: LIGHT GRAY MANUF.: TBD
	TYPE: VERTICAL FIBER CEMENT SIDING COLOR: BEIGE MANUF.: TBD
	TYPE: 3-COAT STUCCO COLOR: BEIGE MANUF.: TBD
	TYPE: 3-COAT STUCCO COLOR: GRAY MANUF.: TBD
	TYPE: METAL FASCIA / STOREFRONT COLOR: ANODIZED DARK GRAY ALUMINUM MANUF.: TBD
	TYPE: GRC TRIM AND PANELS COLOR: WHITE FINISH MANUF.: TBD

GENERAL NOTES

1. GRADING SHOWN IS SCHEMATIC. POSITIVE DRAINAGE AWAY FROM BUILDING TO BE PROVIDED. SEE CIVIL FOR GRADING.
2. 6" MINIMUM SEPARATION BETWEEN EARTH AND ANY WOOD CONSTRUCTION. SEE CIVIL FOR GRADING.



**EDIFICE**  
DESIGN + ARCHITECTURE  
352 NORTH FLINT STREET  
KAYSVILLE, UT 84037  
385.432.3332 www.EDIFICEdna.com

stamp:

consultant:

owner:

RENAISSANCE TOWNE  
CENTER MIXED-USE  
LOT 11  
1791 S. RENAISSANCE TOWNE DRIVE  
BOUNTIFUL, UTAH

project:  
PROJECT STATUS  
**SITE PLAN  
SUBMITTAL**  
APRIL 27, 2023

REVISIONS

DATE	DESCRIPTION

Project #: 22204.01  
COPYRIGHT  
Edifice Design + Architecture, LLC reserves the right to these documents and to all designs contained herein. No copies or alterations are to be made without the permission of Edifice DNA. All plans published and sold by Edifice DNA are protected under the Federal Copyright Act, Title 17 of the United States Code, and Chapter 37 of the Code of Federal Regulations.

**ENLARGED  
ELEVATIONS  
COMMERCIAL  
A254**



# Planning Commission Staff Report



**Subject:** Land Use Code Text Amendment  
Downtown and Parking Standards  
**Author:** Amber Corbridge, Senior Planner  
**Department:** Planning  
**Date:** June 6, 2023

---

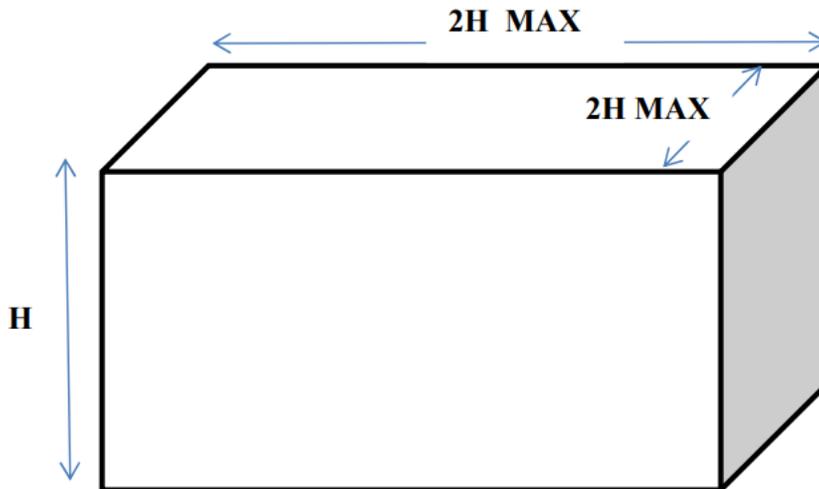
## **Background**

John Egan, the applicant, is requesting three (3) land use code text amendments to encourage efficient, practical, and compatible downtown land uses and structures (see attached application). The amendments would potentially allow development of a downtown-mixed use project (see the attached concept plan). The applicant proposed the following amendments to Title 14 Chapter 7 and Title 14 Chapter 18:

### A. Maximum Building Width

Code § 14-7-112 (C)(10) :

10. The overall width or depth of a mixed use or multi-family residential building shall not exceed twice the maximum building height allowed. In cases where two building height standards apply based on setbacks, the 2:1 ratio shall be calculated from the highest possible height allowed for the building. See Figure4-7-112-C.



**During site plan review process, the land use authority may grant a width and length extension if the proposed building appears as two (2) or more separate**

**buildings based upon material differences, building design and/or height appearances.**

B. Parking Spaces Required

Code § 14-18-107(A)(6):

6. Dwellings, Multiple Family. Parking for multiple family developments shall be based on the following standards:

Bedrooms	Required Spaces	Visitor Spaces
1	<del>1</del> 1.5/Unit	<del>.25/unit</del>
2	2.0/Unit	.25/unit
3 or more	<del>3</del> 2.5/ Unit	<del>.25/unit</del>

~~At least one (1) of the required parking spaces above shall be designated covered parking stall for each dwelling unit. Visitor parking spaces shall be distributed through the project for convenient access from all units.~~

C. Carports

Code § 14-7-105 (E) :

Accessory Structures. An accessory structure shall meet all of the setback requirements of a principal structure. An accessory structure that does not require a building permit, according to the International Building Code (IBC), may be located in a side or rear setback area only if all of the following conditions are met: 1. The accessory structure is not within a front or street yard setback and is located more than ten (10) feet from any main building on the same or adjacent property. 2. The accessory structure has no openings on the side which is contiguous with the property line, and the walls of said building which are adjacent to the property line have a fire retardant rating as specified by the IBC. 3. The accessory structure is designed such that all roof drainage is discharged onto the lot or parcel on which it is erected. **Exceptions to setbacks may be allowed for carports, constructed non-flammable materials open all sides, may be located in side or rear setbacks, if shown not to have any negative effect on adjacent properties.**

**Analysis**

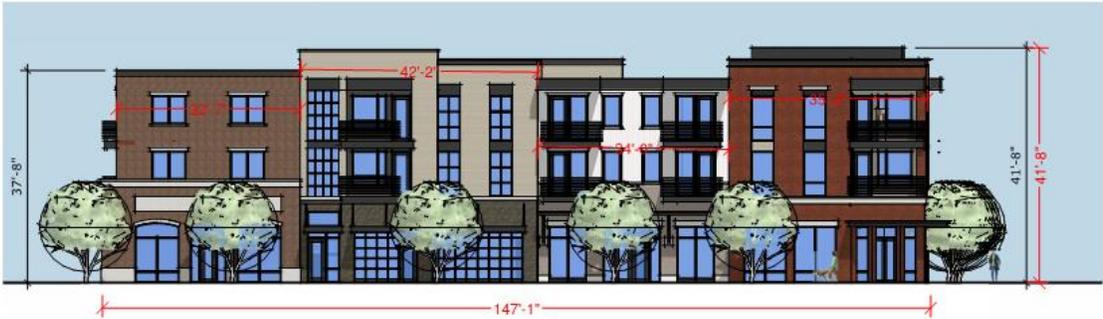
The Planning Commission shall determine if the proposed amendments are necessary, in the interest of the public, and in harmony with the objectives and purposes of the Code. Each of the following sections cover Staff's analysis and recommendations of the proposed amendments mentioned above.

**A. Maximum Building Width**

The Bountiful Downtown Master Plan of 2009 outlines its goals and objectives, which aim to revitalize the downtown area through the implementation of architectural standards and a comprehensive building massing plan (p.2). In accordance with the plan, specific building standards have been established to govern the overall width and depth of mixed-use or multi-family residential buildings within the downtown zone (14-7-112 (C)(10)). As required by this provision, the dimensions of such structures must not exceed twice the maximum building height permitted. The existing code limits building height to fifty-five (55) feet, which would limit the building width/depth to one-hundred and ten (110) feet.

Unfortunately, this provision would limit development of such structures on wider downtown lots to meet Neighborhood Compatibility (Code§14-7-112 (D)), whereby building mass, including frontages, should be arranged near one another, fostering an active and cohesive building frontage.

For example, the following proposed mixed-use building facing Main Street would not meet the current code requirements, as it is over 110' wide:



Existing Main Street building frontages are arranged next to one another creating a human scale environment and desirable walkable downtown, as shown below.



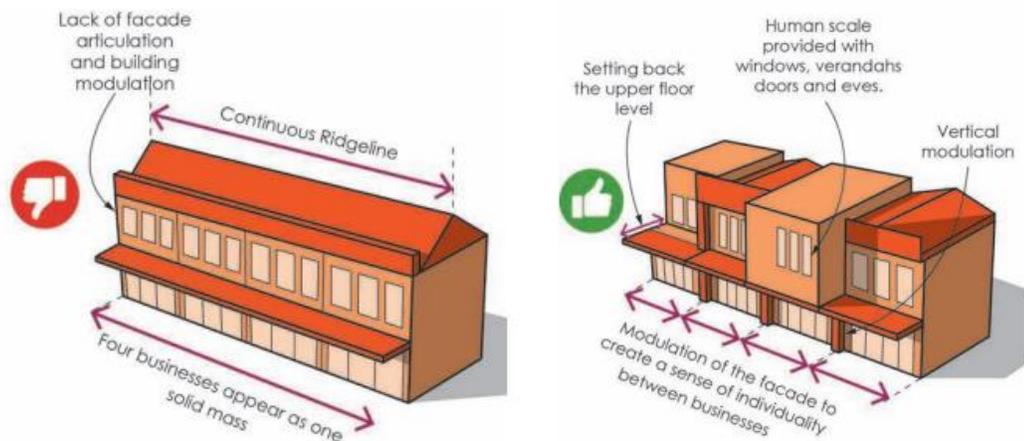
Historically, downtown structures were developed next to one another, each about 25'-40' wide, as shown in the following 1917 Bountiful Sanborn Map. It is in the best interest of the city to develop new structures which are compatible and fit the

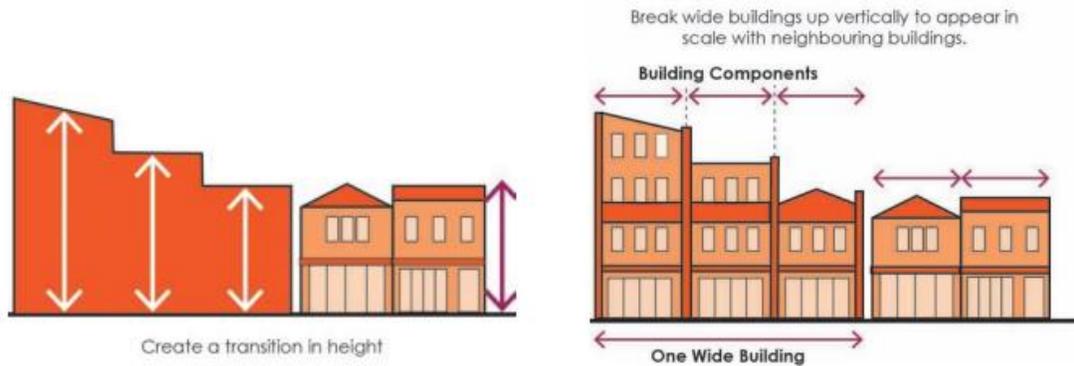
character of the downtown existing buildings, in massing and design. New structures should follow this historic pattern as much as physically possible.



The proposed ordinance amendment would provide a provision for larger downtown lots to develop new multi-family/mixed use buildings meeting compatible building frontage width and continuity. Additionally, to ensure reducing the bulk of these wider buildings and be compatible with the downtown, the applicant proposed to include a stipulation where such buildings would be required to appear as two (2) or more separate buildings based on material differences, building design and/or height appearances.

The following images show how new larger buildings may fit in with the existing downtown form and appearance, using design standards to break up the large wall facing the street.





To meet the intent of the Downtown Master Plan, neighborhood compatibility, consider the proposed amendment, and expound Land Use Code § 14-7-112 (C)(10), staff recommends the attached ordinance amendment (See Attachment Amendment A).

## B. Parking Spaces Required

Bountiful parking needs for multi-family residential may vary from each zone, where downtown may not require as many parking stalls due to density and walkability. The Bountiful Downtown Master Plan addresses the need for a more walkable and dense community, which includes adding more transportation options. Currently, the City is working with UTA to establish more transportation options downtown, such as Bus Rapid Transit (BRT). Decreasing parking requirements for the Downtown Zone may encourage development to build more around pedestrians and their experience walking and biking downtown. It is in the best interest of the city to consider reducing parking in the city, specifically downtown.

The proposed amendment would reduce multi-family residential parking for the whole city. Staff recommends implementing the attached proposed amendment, whereby parking for multi-family residential in the city is reduced, as well as adding downtown parking standards (See Attachment Amendment B).

## C. Carports

The Downtown Masterplan does not specifically address goals and objectives for accessory structures downtown; however, it states the importance of building design standards to revitalize downtown and create spaces which are inviting for the public. This proposed ordinance would allow for carports to be placed in the side and rear yard setbacks, if shown not to have any negative effect on adjacent properties, whereas now they are required to meet the same setbacks as the primary structure.

Carports, or any accessory structure which requires a building permit, if allowed within the side and rear yard setbacks should meet specific requirements to

ensure compatibility with the downtown area and mitigate negative impacts on adjacent properties. Staff recommends discussing the proposed changes to Code § 14-7-105 (E) mentioned above and continue at the next Planning Commission meeting on June 20, 2023.

**Planning Commission discussion requested. Item to be continued to June 20, 2023**

### **Department Review**

This staff report was written by the Senior Planner and reviewed by the Planning Director and City Attorney.

### **Recommendation**

Staff recommends that the Planning Commission review the proposed amendments and forward the following recommendations to City Council:

- A. Approval to implement the attached staff recommended ordinance amendment for Code § 14-7-112 (C)(10). (See attachment Amendment A)
- B. Approval to implement the attached staff recommended ordinance amendment for Code § 14-18-107 (A)(6). (See attachment Amendment B)
- C. Staff recommends that the Planning Commission review and discuss the proposed amendment to Code § 14-7-105 (E) and continue to the next Planning Commission meeting on June 20, 2023.

### **Attachments**

- 1. Amendment A
- 2. Amendment B
- 3. Application
- 4. Applicant Concept Plans

C. Structure Design and Materials.

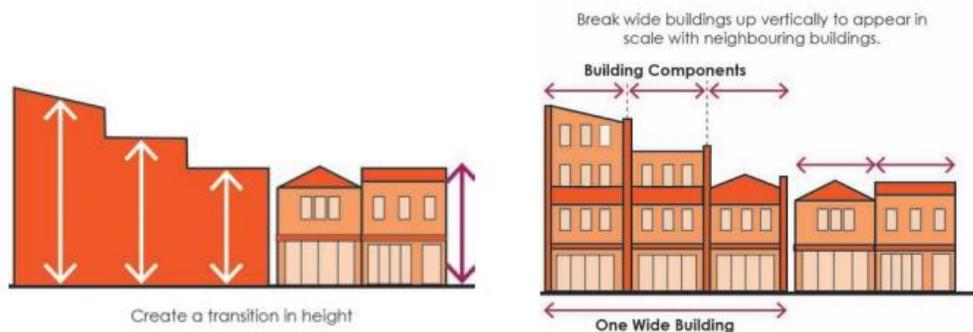
10. ~~The overall width or depth of a mixed use or multi-family residential building shall not exceed twice the maximum building height allowed. In cases where two building height standards apply based on setbacks, the 2:1 ratio shall be calculated from the highest possible height allowed for the building. See Figure 14-7-112-C.~~

Figure 14-7-112-C

Form and Appearance: Mixed-use or Multi-family buildings exceeding ninety (90) feet wide shall meet the following design standards to break up the exterior mass and bulk of the building to appear as separate structures:

- a. Break the building up horizontally (base, middle, and top) and vertically every forty-five (45) feet or less using step-backs, architectural beams, cornices, windows, etc.
- b. Stagger building heights every forty-five (45) feet or less.
- c. Use various materials, colors, and textures approved in this chapter.

Example:



14-18-107 PARKING SPACES REQUIRED

6. Dwellings, Multiple Family.

~~a. Parking for multiple family developments shall be at least two (2) parking spaces per unit. shall be based on the following standards:~~

~~Bedrooms — Required Spaces — Visitor Spaces~~

~~1 — 1.5/Unit — .25/unit~~

~~2 — 2.0/Unit — .25/unit~~

~~3 or more — 2.5/ Unit — .25/unit~~

~~b. Downtown Mixed-Use Zone Parking for multiple family developments shall be based on the following standards:~~

~~Bedrooms    Required Spaces~~

~~1-2            1.75/Unit~~

~~3+             2/Unit~~

~~At least one (1) of the required parking spaces above shall be a designated, covered parking stall for each dwelling unit.~~

~~Visitor parking spaces shall be distributed throughout the project for convenient access from all units.~~

14-7-112-c

10. During site plan review process, the land use Authority may grant a width and length extension if the proposed

Building appears as two or more separate building based upon material differences, building design and/ or height appearances.

14-7-105

E.

Accessory Structures, An accessory structure shall meet all of the setback requirements of principal structures. An accessory structures that does not require a building permit, according to the International building code (IBC) may be located in a side or rear setback area only if all the following conditions are met: --Exceptions to setbacks may be allowed for carports, constructed of non-flammable materials open on all sides, may be located in side or rear setbacks areas, If shown not to have any negative effect on adjacent properties.

14-18-107

6. Dwellings, Multiple Family, Parking for multiple family developments shall be based on the following guidelines and an approved parking plan as specified in Subsection B of this Section:

Bedrooms	Required Spaces
----------	-----------------

1	1/unit
---	--------

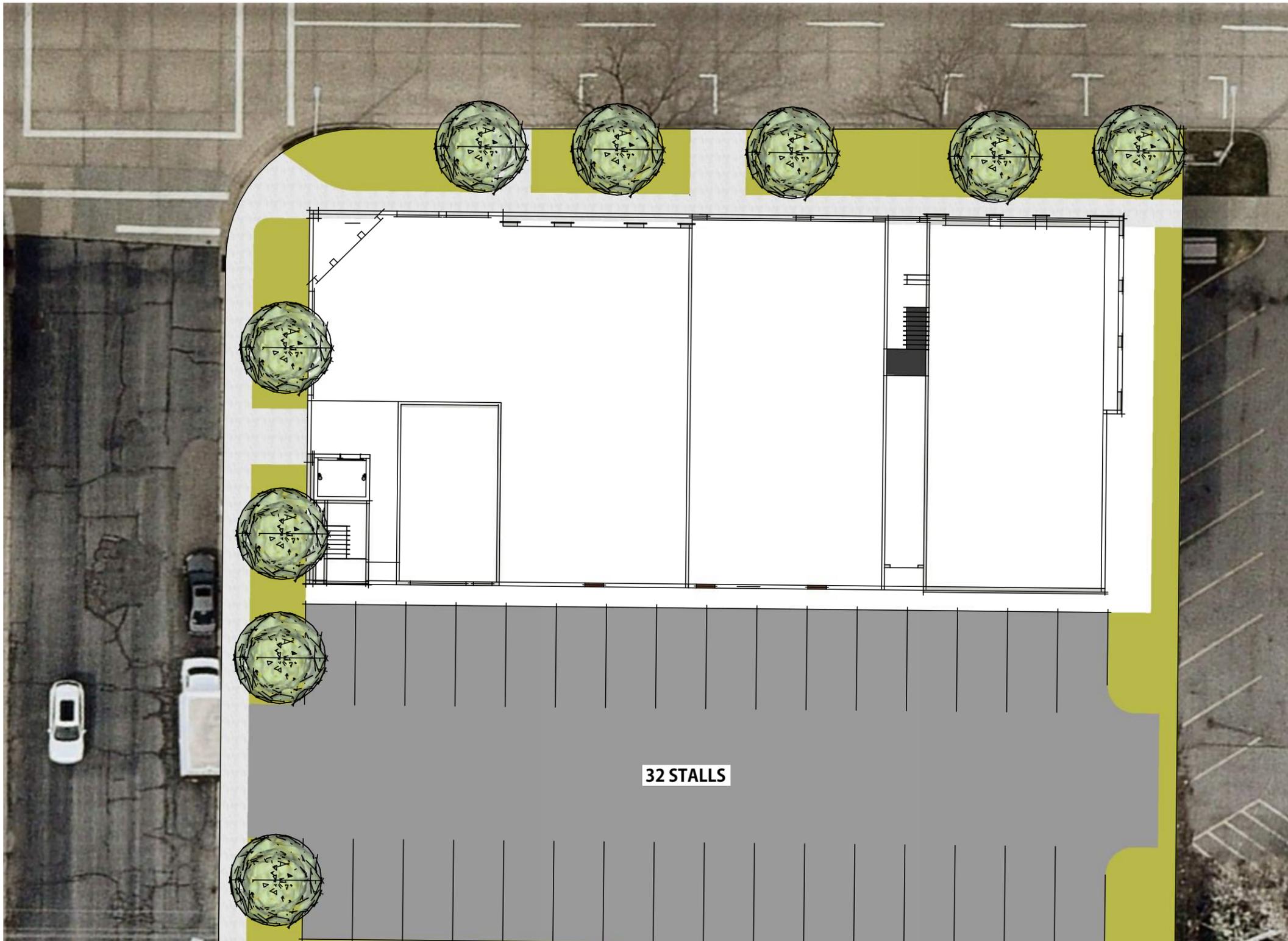
2	2/unit
---	--------

3	3/unit
---	--------

At least one (1) of the required parking spaces above shall be designated covered parking stall for each dwelling unit. Visitor parking spaces shall be distributed through the project for convenient access from all units.

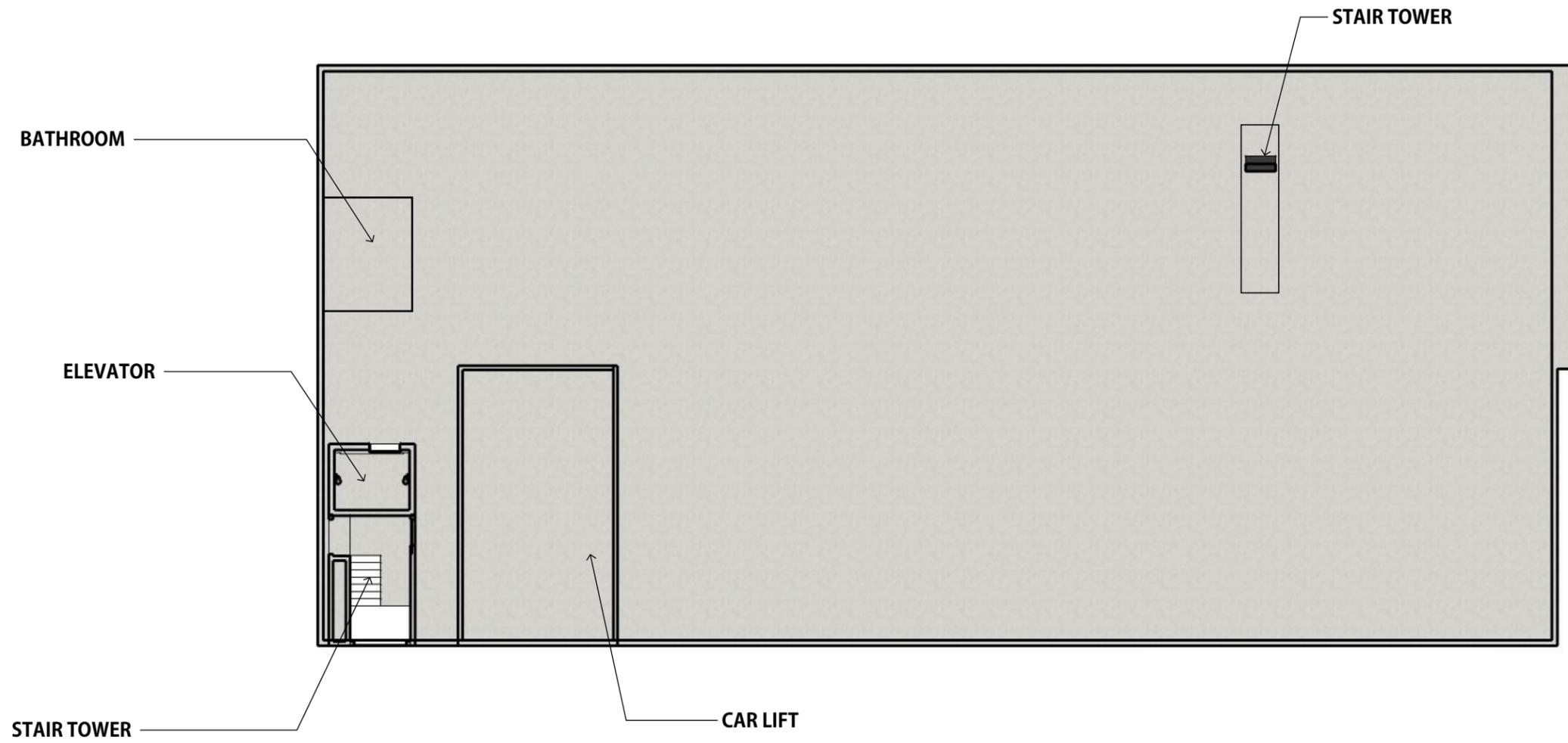
## Reason for Amendment

Best use of the property is to use all of the 165' frontage, not just 110'. It conforms to the city planning of getting rid of nonconforming uses, like used car lot, on main street.



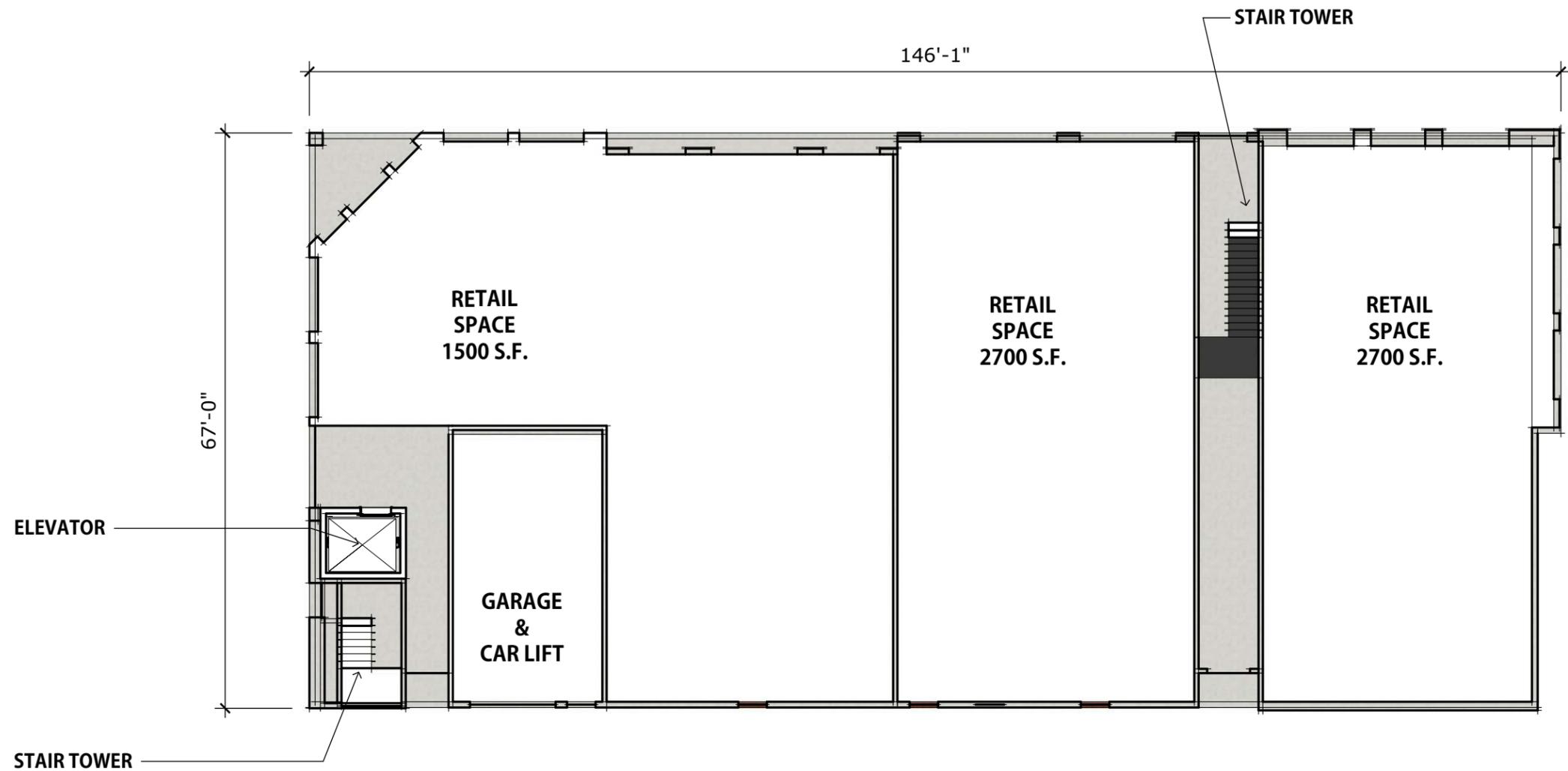
**0** SITE PLAN  
A00 Scale: 1" = 20'





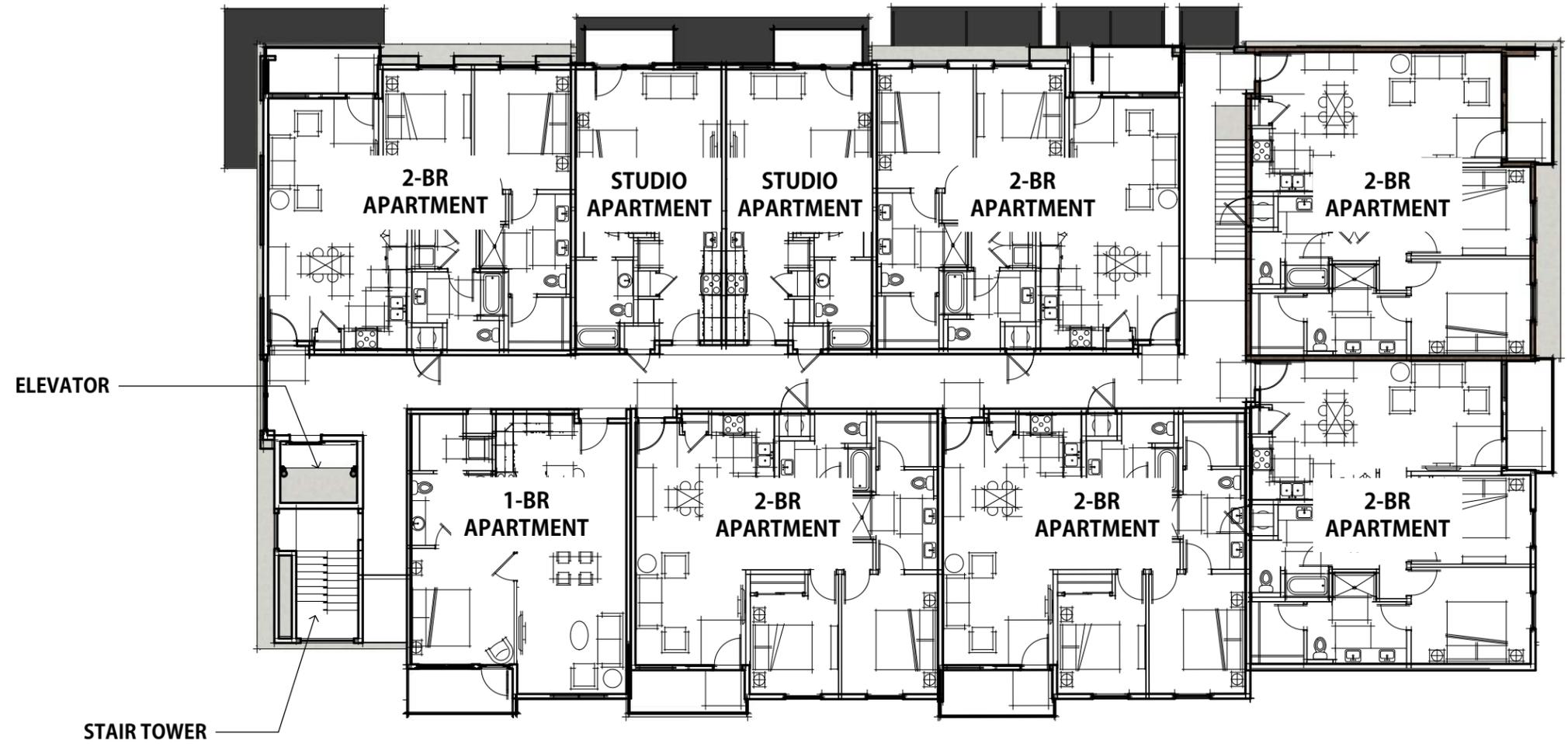
**0** BASEMENT PLAN  
 A00 Scale: 1/16" : 1'-0"





**0 MAIN FLOOR PLAN**  
 A00 Scale: 1/16" : 1'-0"

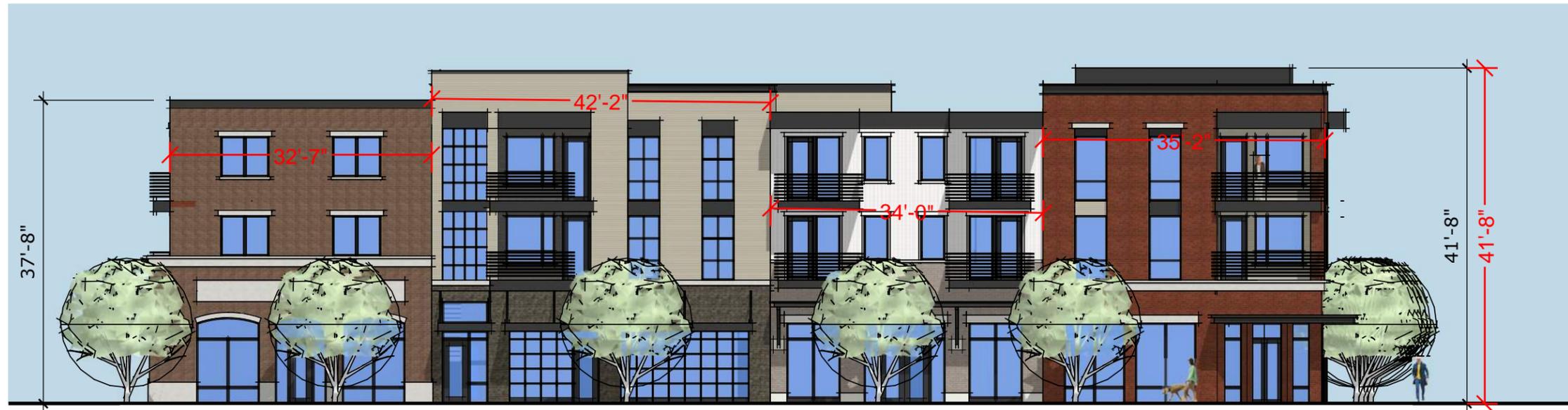




0 LEVEL 2 & 3 PLAN  
 A00 Scale: 1/16" : 1'-0"



**EGAN MIXED USED PROJECT - CONCEPT DESIGN**  
 BOUNTIFUL, UTAH | JOHN EGAN



0 WEST ELEVATION  
A00 Scale: 1/16" : 1'-0"



0 SOUTH ELEVATION  
A00 Scale: 1/16" : 1'-0"





**0 EAST ELEVATION**  
 A00 Scale: 1/16" = 1'-0"



**0 NORTH ELEVATION**  
 A00 Scale: 1/16" = 1'-0"





0 SW PERSPECTIVE  
A00 NOT TO SCALE



BabcockDesign

# EGAN MIXED USED PROJECT - CONCEPT DESIGN

BOUNTIFUL, UTAH | JOHN EGAN

June 6, 2023 Bountiful City Planning Commission

Salt Lake City 52 Exchange Place SLC, UT 84111 801.531.1144 | Boise 800 W. Main Street Suite 940 Boise, ID 83702 208.424.7675 | babcockdesign.com

16 FEBRUARY 2023

SP-05



0 NW PERSPECTIVE  
A00 NOT TO SCALE



BabcockDesign

## EGAN MIXED USED PROJECT - CONCEPT DESIGN

BOUNTIFUL, UTAH | JOHN EGAN

June 6, 2023 Bountiful City Planning Commission

Salt Lake City 52 Exchange Place SLC, UT 84111 801.531.1144 | Boise 800 W. Main Street Suite 940 Boise, ID 83702 208.424.7675 | babcockdesign.com

16 FEBRUARY 2023

SP-05

Page 60 of Page 60