



Bountiful City
Planning Commission Agenda
Tuesday, August 6, 2024
6:30 p.m.

NOTICE IS HEREBY GIVEN that Bountiful City Planning Commission will hold a meeting in the Council Chambers, Bountiful City Hall, 795 South Main, Bountiful, Utah, 84010, at the time and on the date given above. The public is invited to attend. Persons who are disabled as defined by the Americans with Disabilities Act may request an accommodation by contacting the Bountiful City Planning Office at 801-298-6190. Notification at least 24 hours prior to the meeting would be appreciated.

1. Welcome and Roll Call
2. Consideration to Approve the meeting minutes from July 02, 2024
 - Review
 - Action
3. Conditional Use Permit for outdoor vehicle storage at 2773 South Main
Senior Planner Corbridge
 - Review
 - Public Hearing
 - Action
4. Preliminary/Final Architectural and Site Plan Review at 2773 South Main
Senior Planner Corbridge
 - Review
 - Action: Recommendation to City Council

5. Conditional Use Permit for a fast-food restaurant at 386 West 500 South
Senior Planner Corbridge
 - Review
 - Public Hearing
 - Action
6. Preliminary/Final Architectural and Site Plan Review at 386 West 500 South
Senior Planner Corbridge
 - Review
 - Action: Recommendation to City Council
7. Preliminary/Final Architectural and Site Plan Review at 77 South 500 West
Senior Planner Corbridge
 - Review
 - Action: Recommendation to City Council
8. Conditional Use Permit for private assembly (event center) at 1480 South Orchard Drive, Suite 113
Assistant Planner Jonah David Hadlock
 - Review
 - Public Hearing
 - Action
9. Planning Director's report, update, and miscellaneous items
10. Adjourn

**Draft Minutes of the
BOUNTIFUL CITY PLANNING COMMISSION
Tuesday, July 2, 2024 – 6:30 p.m.**

Official notice of the Planning Commission Meeting was given by posting an agenda at City Hall, and on the Bountiful City Website and the Utah Public Notice Website.

City Council Chambers
795 South Main Street, Bountiful, Utah 84010

Present:	Planning Commission	Vice Chair Alan Bott, Sean Monson Beverly Ward, and Krissy Gilmore
	Planning Director	Francisco Astorga
	Senior Planner	Amber Corbridge
	City Engineer	Lloyd Cheney
	City Attorney	Bradley Jeppson
	Recording Secretary	Sam Harris
Excused:	Planning Commission	Chair Lynn Jacobs, Jim Clark, and Richard Higginson
	Assistant Planner	Jonah David Hadlock

1. Welcome

Vice Chair Bott called the meeting to order at 6:34 p.m. and welcomed everyone.

2. Consideration to approve meeting minutes from June 18, 2024

Commissioner Gilmore motioned to approve the minutes from June 18, 2024, and Commissioner Ward seconded the motion. The motion was approved with Commissioners Bott, Monson, Ward, and Gilmore voting “aye”.

3. Variance Request to construct a single-family dwelling on slopes 30% or greater at 3285 South Sunset Loop

Senior Planner Amber Corbridge presented the item as outlined in the packet.

Vice Chair Bott questioned if the slope of twenty (20%) is currently or after they construct the access. Senior Planner Corbridge confirmed the twenty (20%) is the current slope. Planning Director Astorga explained the Slope Analysis in better detail, confirming it is only a small area being disturbed at thirty percent (30%).

Vice Chair Bott opened the Public Hearing at 6:42 p.m. No one provided public comment. Vice Chair Bott closed the Public Hearing at 6:42 p.m.

Commissioner Gilmore questioned the necessity of the variance if when the subdivision was created the code regulated slope disturbances over thirty percent (30%). Senior Planner Corbridge referred to the plat map and stated that the plat shows an ordinance put into place where single-family dwellings must be constructed on usable land. Senior Planner Corbridge stated the proposed single-family dwelling is proposed on useable land, however there is no mention about the access to the buildable area, which is the need for the variance.

Commissioner Gilmore motioned to approve the Variance Request to construct a single-family dwelling on slopes thirty percent (30%) or greater at 3285 South Sunset Loop. Commissioner Ward seconded the motion. The motion was approved with Commissioners Bott, Monson, Ward and Gilmore voting “aye.”

4. Preliminary/Final Architectural and Site Plan Review for a change of use: retail store at 750 South Main, Suite 102

Senior Planner Amber Corbridge presented the item as outlined in the packet.

Vice Chair Bott questioned if the reason for approval of a Site Plan Review for change of use as stated in the Land Use Code was because of parking. Senior Planner Corbridge confirmed that the reason for approval of a site plan review is to look at all the standards, including parking, landscaping, and architectural features of the building. Planning Director Astorga confirmed what Senior Planner Corbridge mentioned. Commission discussed a possible future Land Use Code Amendment.

Commissioner Ward motioned to forward a positive recommendation to approve the Preliminary/Final Architectural and Site Plan Amendment for a Change of Use, to the City Council. Commissioner Monson seconded the motion. The motion was approved with Commissioners Bott, Monson, Ward and Gilmore voting “aye.”

5. Preliminary/Final Architectural and Site Plan Review for a change of use: salon suites at 146 West 300 South

Planning Director Francisco Astorga presented the item as outlined in the packet on behalf of Assistant Planner Jonah David Hadlock.

Derek Schlenker, applicant, spoke about how it has been a challenge working through the complexity of the parking and landscaping situation. The owners ultimately want to create a good situation aligning with the community. Commissioner Ward had concerns with how many spaces inside the building compared to parking spaces. Mr. Schlenker stated that the concept is to have entrepreneurs that will be renting a space inside the building. He stated each tenant would have different hours, and most are very part time hours. The owners feel that with this concept

91 and after completing a parking study, they will not have an issue with parking. Planning Director
92 Astorga confirmed that doing a local parking study is the best way to get the best parking ratio.
93

94
95 Commissioner Monson motioned to forward a positive recommendation to approve the
96 Preliminary/Final Architectural and Site Plan Amendment for a Change of Use, to the City
97 Council. Commissioner Gilmore seconded the motion. The motion was approved with
98 Commissioners Bott, Monson, Ward and Gilmore voting “aye.”
99

100 **6. Planning Director’s Report/Update**
101

102 Planning Director Astorga gave an update on the General Plan stating that a Work Session with
103 the City Council is coming up next week with a continuing focus on active transportation.
104

105 **7. Adjourn**
106

107 Vice Chair Bott adjourned the meeting at 7:16 p.m.

Planning Commission Staff Report



Subject: Preliminary/Final Architectural and Site Plan
and Conditional Use Permit for Outdoor
Vehicle Storage
Address: 2773 South Main Street
Author: Amber Corbridge, Senior Planner
Department: Planning
Date: August 6, 2024

Background

The applicant, Patrick Budion, with *Summit Fleet Rental*, is requesting 1) Preliminary/Final Architectural Site Plan Approval and 2) Conditional Use Permit Approval at 2773 South Main Street to use the existing site for outdoor vehicle storage. The site is approximately 2.9 acres and includes a 17,122 square ft building 17.5' tall. The site was previously used as a car dealership. The site would offer indoor basic preventive maintenance services. The front office would have 10-15 employees to handle nationwide operations, and 2-7 employees to handle vehicle maintenance. The facility would not be used to sell any vehicles. (See Attached Narrative).

Analysis

The property is in the Heavy Commercial (C-H) Zone, where Bountiful Land Use Code 14-6-111 states that Site Plan Approval shall be required for any new construction or change in use in the (C) Zone. Also, this proposed use is listed as a conditional use in the Heavy Commercial (C-H) Zone.

Conditional Use Standards

The Planning Commission shall consider how the proposed use 1) relates to the surrounding uses, 2) impacts the existing surrounding developments, and 3) appropriate buffering of uses and buildings, proper parking and traffic circulation, and the use of building materials and landscaping, which are in harmony with the area (See Code 14-2-506(C))

The proposed use would fit in with the surrounding properties along this corridor, as there are many car dealerships along the same side of the street, such as Bountiful Mazda and Rand's Auto Sales (See Figure 1, below). Also, Main Street in this area is primarily zoned commercial and includes other commercial uses (See Figure 2, below). The applicant indicated that Summit Fleet would operate like a dealership, except instead of retail they would lease and rent vehicles to customers throughout the United States. The proposed use has appropriate buffering, parking, and traffic circulation, like the previously approved use.



Figure 1. Aerial Photo of 2773 South Main Street and Surrounding Properties, 2024

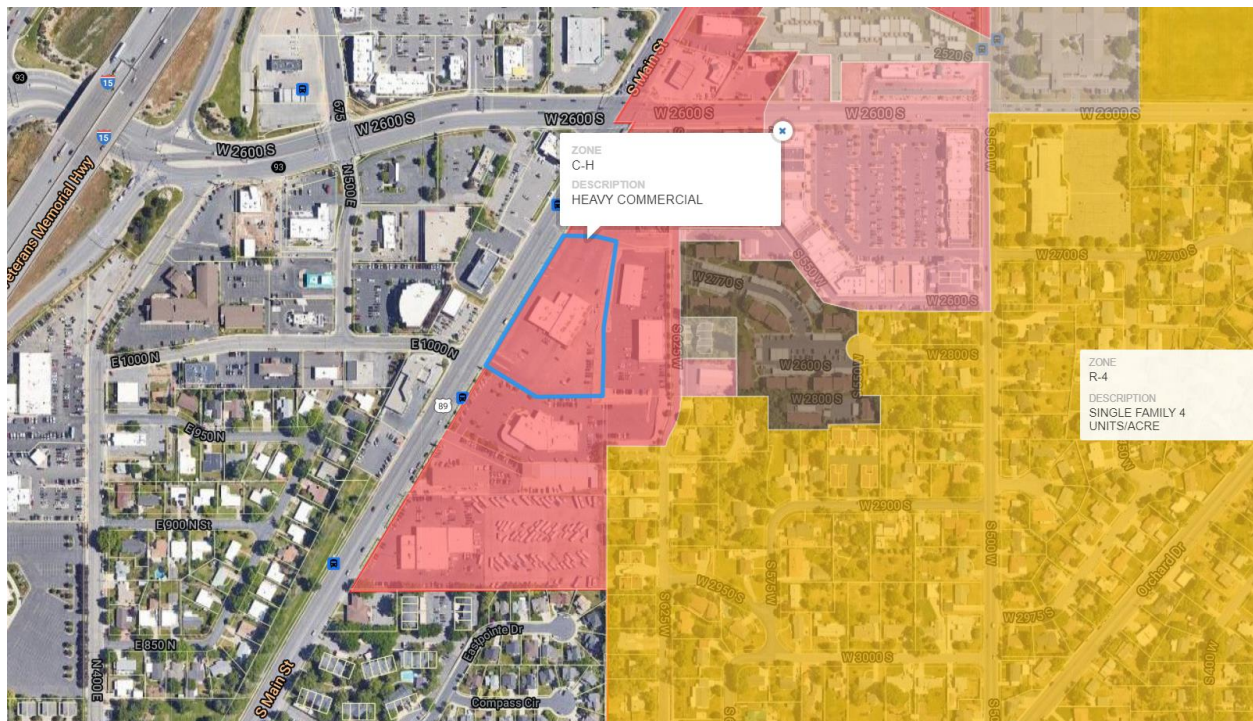


Figure 2. Current Bountiful Zoning of 2773 South Main Street

Site Plan Approval Standards

The Planning Commission shall determine if the proposed architectural and site development plans submitted are consistent with the purpose and objectives of the Code (14-2-301). The purpose of the architectural and site plan review and approval process is:

1. To determine compliance with the Land Use Code
2. To promote the orderly and safe development of land in the City
3. To implement the policies and goals established in the Bountiful City General Plan
4. To promote the orderly layout of site improvements.

The plans have been reviewed by staff, where landscaping, parking, lighting, screening, and all other applicable standards are reviewed for compliance. The site meets parking (18 stalls are required, where 61 are provided); however, the site does not meet the minimum ten foot (10') front yard landscaping setback due to the orientation of the existing building and twenty-four foot (24') wide drive aisle in the front (see red bubbled area in Figure 3 below). The site is considered noncompliant; however, Staff finds this existing drive access aisle necessary to maintain, as it promotes the orderly layout of site improvements.

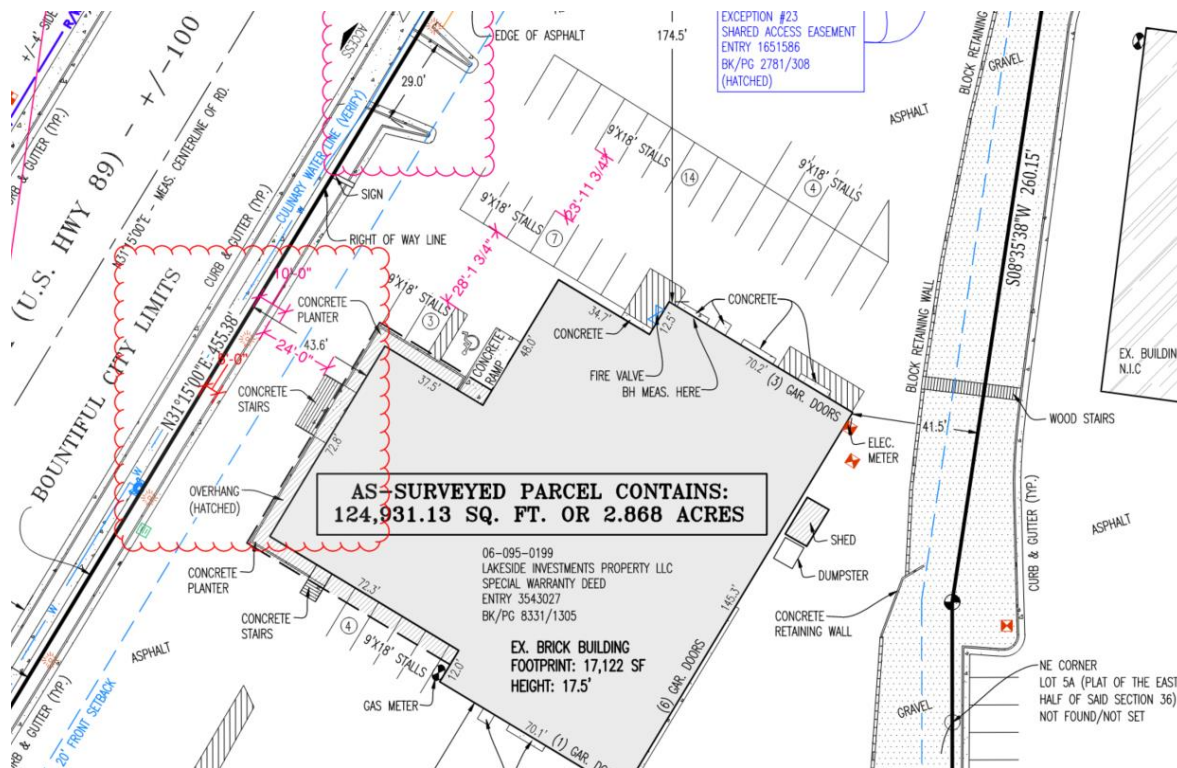


Figure 3. Survey Plan

The applicant is proposing to add plant materials to the landscaped rock bed on the east side of the lot (as shown in the attached Landscape Plan) and add a new dumpster enclosure to match the existing main structure to bring the existing site into compliance.

Department Review

This staff report was written by the Senior Planner and was reviewed by the City Attorney, City Engineer, and Planning Director.

Significant Impacts

There are minimal impacts of this proposed development on the property and surrounding uses, as the proposed use and site does not require additional parking, landscaping, or traffic flow. The existing infrastructure, such as water, sewer, culinary water, and transportation are in place to support this development.

Recommendation

Staff recommends that the Planning Commission review the proposal, hold a public hearing, and approve the Conditional Use Permit (CUP) for outdoor vehicle sales at 2773 South Main Street, subject to meeting all department staff review comments.

Staff recommends that the Planning Commission review the Preliminary/Final Architectural and Site Plan application for the outdoor vehicle sales and site changes and forward a positive recommendation to the City Council to approve, subject to meeting all staff review comments.

Attachments

1. Application Narrative
2. Site Photos
3. Landscape Plan
4. Site Plan

Statement of Intent for 2773 S Main Street (former Truck World)

Our usage for the 2773 S Main Street Property in Bountiful will carry almost all the same functions as Truck World carried before as the facility will be our local Salt Lake City hub for the storage of our vehicles before they go out on Rent or lease to our Commercial customers and a site in which the trucks will be returned by our Commercial customers. Once the vehicles are on site they will use 2 bays for service and the rest will be used for detailing of our vehicles that will be assessed by our internal team for any damage and then shipped out to the local collision and service centers for work to be completed. For all our units that are not being moved to be sold they will be providing Basic Preventive Maintenance services in our back-of-house service facility there and then moving to have a full detail completed to bring it back to Company Cleanliness standards. Any of our units that are deemed for sale will be moved to our Auction Partners facilities in the Salt Lake City area, which currently is Manheim, to then be processed and sold.

So, for our front of house portion of the building it will hold of a staff between 10 to 15 individuals at most who will handle our Nationwide Operations department for the United States. Our back of house will be staffed with between 2 to 7 individuals who are handling our Preventive Maintenance and Detailing of our vehicles. We will use the facility as it previously was being used minus the selling of vehicles to Retail customers out of the lot since we do not rent or lease to retail consumers just Commercial customers.

If you have any further questions please do not hesitate to reach out to myself at 612-554-7493 or email at pbudion@summitfleet.com

Patrick Budion

Summit Fleet

Director of Branch Operations for North America

How does the proposed project fit with the surrounding properties and uses?

We are in a retail and commercial automotive area as we are positioned between Les Schwab and Mazda with Jiffy Lube across the street. There are numerous other dealerships and auto repair facilities in this specific area of town. We operate like a dealership except in the direct to retail sales, we do leasing and renting of vehicles to customers throughout the entire United States.

In what ways does the project not fit with the surrounding properties and uses?

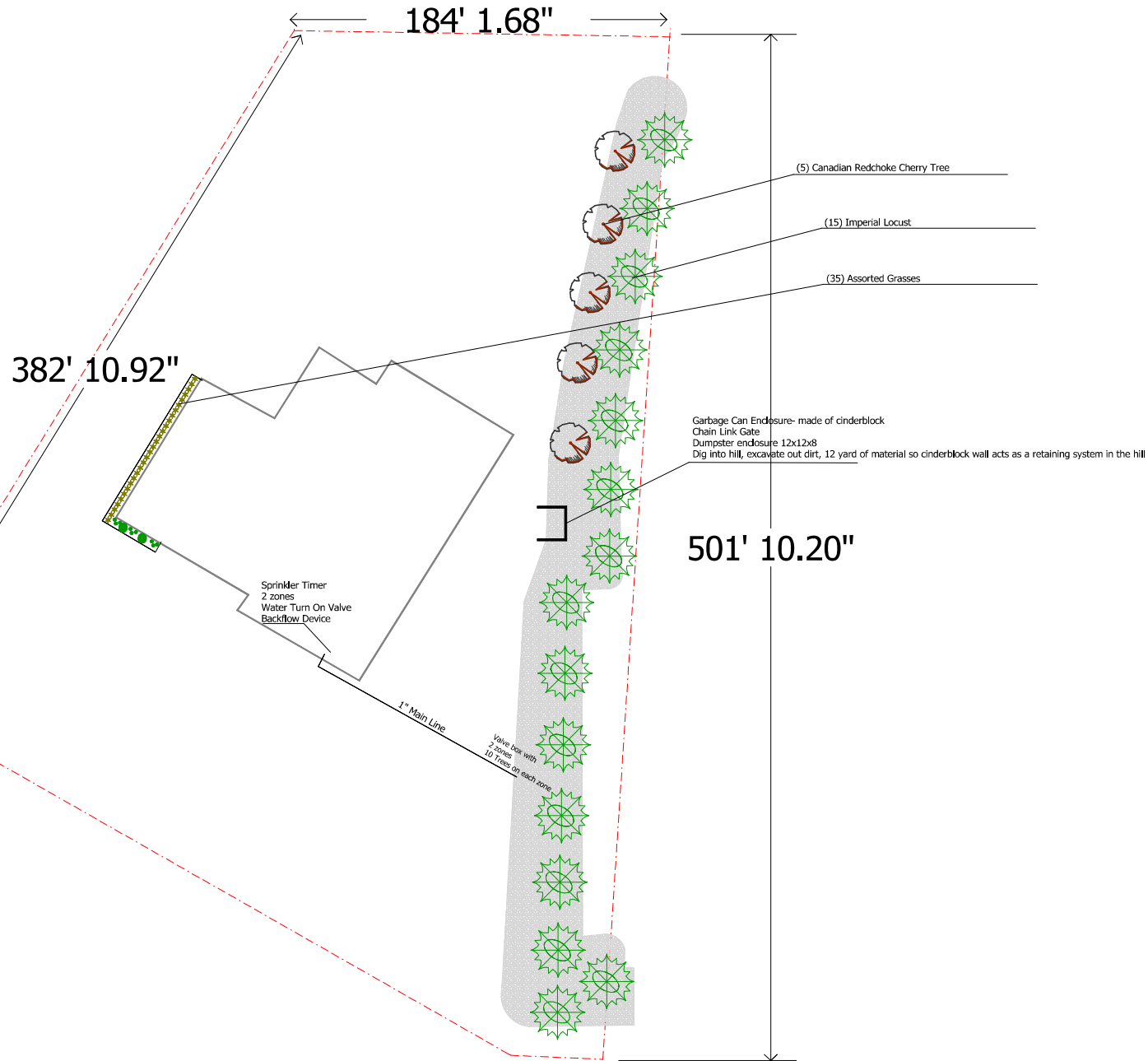
Our property and usage fits with the surrounding area as to the auto segment population that is in this area.

What will you do to mitigate the potential conflicts with surrounding properties and uses?

If there is any issues or conflicts as it pertains to the usage of our property we will work to have a discussion with the property owner as we have done already with Les Schwab and Mazda to ensure we are good neighbors and business partners with them. If we were to have any issues that would require city of county involvement we would reach out to the proper organization to get those issues resolved to the code and regulations in which it must ran.







Landscape Design by:
Jim Larkin
Larkin Landscaping

Date: 6/12/2024

Landscape Plan:

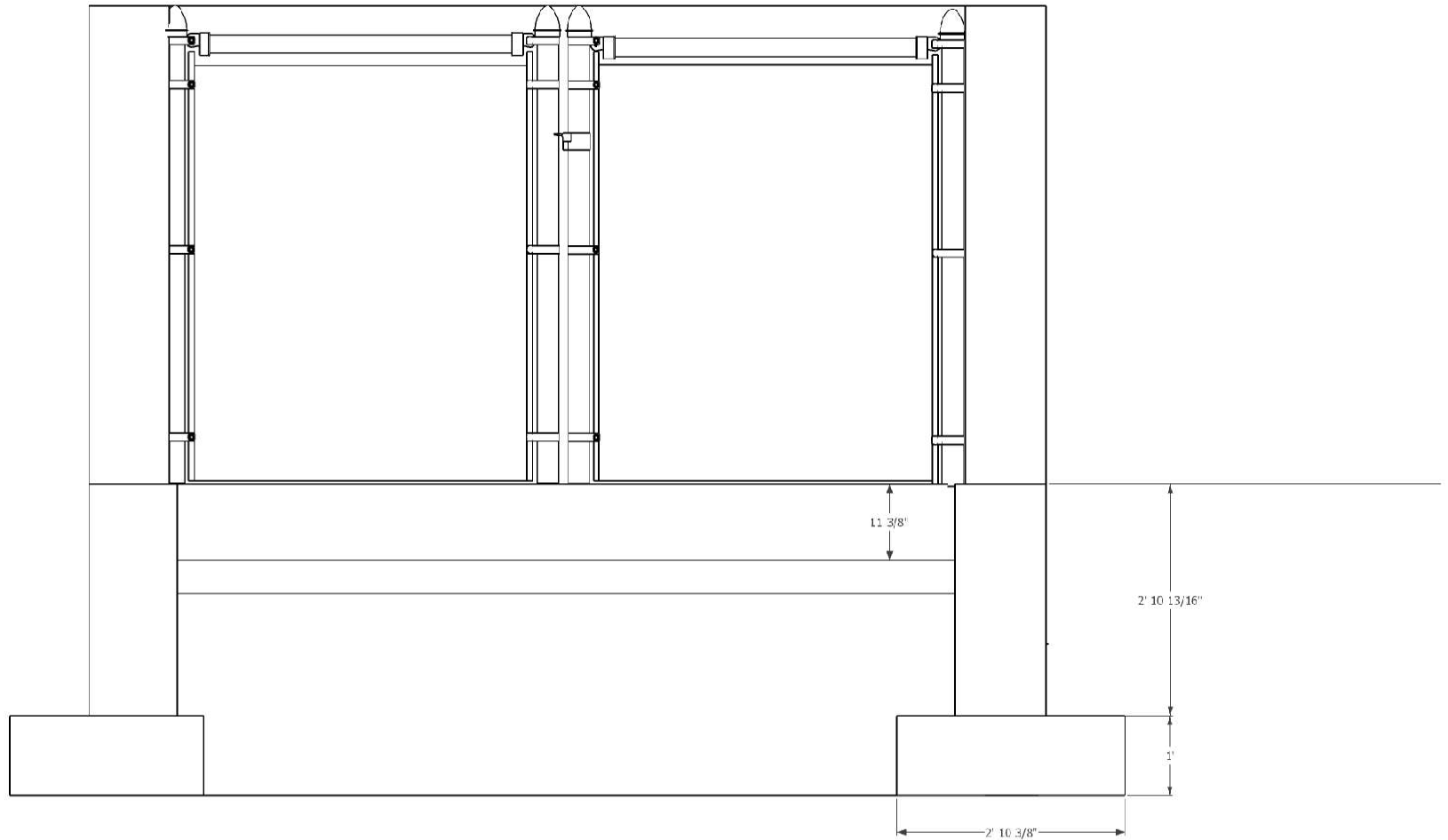
Scale: 1" = 50'

Revision #:

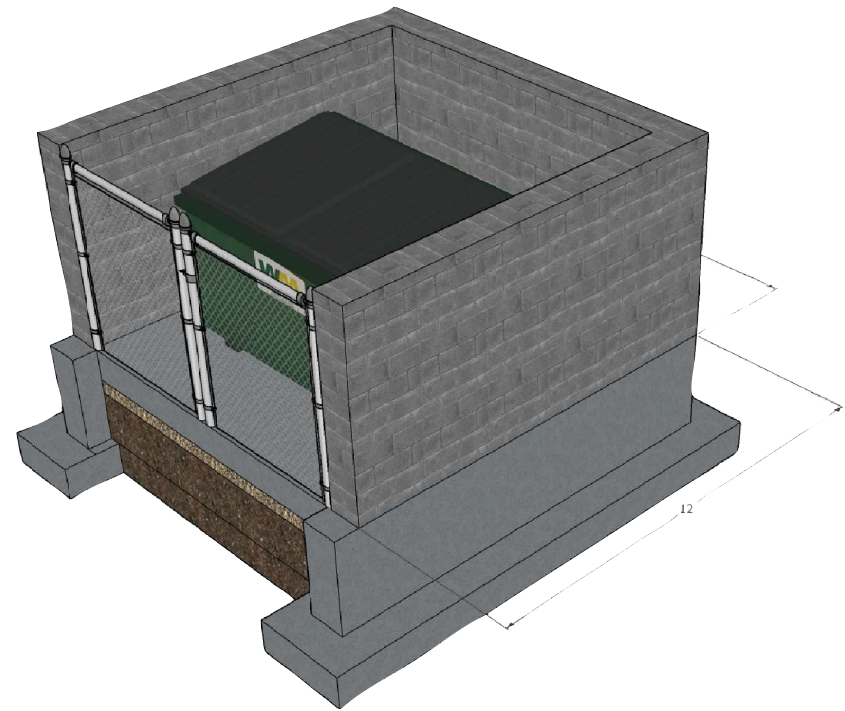
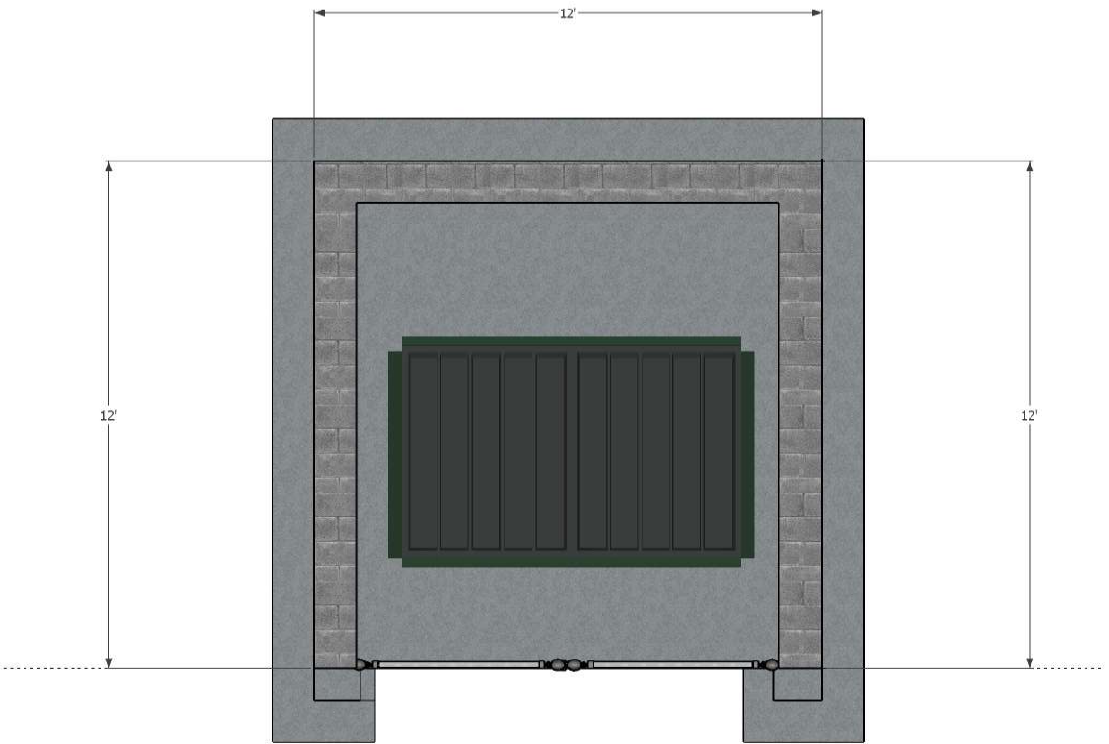
Patrick Budion
pbudion@summitfleet.com
Kwok Kwan
kkwan@summitfleet.com
Jeff Romeril
jeffromeril@kaizenauto.com

Print on 17x11

Dumpster Enclosure



Dumpster Enclosure



Dumpster Enclosure



Planning Commission Staff Report



Subject: Preliminary/Final Architectural and Site Plan
and Conditional Use Permit for a Fast-Food
Restaurant at 386 West 500 South
Author: Amber Corbridge, Senior Planner
Department: Planning
Date: August 6, 2024

Background

The applicant, Karen Wallace, project manager for *Jack in the Box*, is requesting 1) Preliminary/Final Architectural Site Plan Approval and 2) Conditional Use Permit for a new fast-food restaurant, with a dual drive-through, at 386 West 500 South. The site is approximately 34,944 square ft. (0.8 acres) and includes a 2,378 square ft. new building, at about 24' tall (one-story).

Analysis

The property is in the General Commercial (C-G) Zone, where Bountiful Land Use Code 14-6-111 states that Site Plan Approval shall be required for any new construction or change in use in this zone. The proposed use, consisting as a Fast Food Restaurant with a drive-up, is also listed as a conditional use.

Conditional Use Standards

The Planning Commission shall consider how the proposed use 1) relates to the surrounding uses, 2) impacts the existing surrounding developments, and 3) appropriate buffering of uses and buildings, proper parking and traffic circulation, and the use of building materials and landscaping, which are in harmony with the area (See Code 14-2-506(C)).

The proposed use would fit in with the surrounding properties along this corridor, as there are many fast-food restaurants, including drive-through options, as shown in Figure 1 below. The proposed use and site plan has appropriate buffering, parking, and traffic circulation with dual drive-through lanes, a walk-up window, and extra parking. The twenty-three (23) parking stall requirement is based on forty-six (46) seats provided in the dining area, where thirty-one (31) proposed parking stalls would be provided. The proposed attached landscape plan meets the ten-foot (10') landscape buffering requirement for commercial properties abutting residential uses (Bountiful Land Use Code 14-6-109(5)).



Figure 1. Recent Aerial of 386 West 500 South

Site Plan Approval Standards

The Planning Commission shall determine if the proposed architectural and site development plans submitted are consistent with the purpose and objectives of the Code (14-2-301). The purpose of the architectural and site plan review and approval process is:

1. *To determine compliance with the Land Use Code;*
2. *To promote the orderly and safe development of land in the City;*
3. *To implement the policies and goals established in the Bountiful City General Plan;*
4. *To promote the orderly layout of buildings, landscaping, walkways, lighting, and other site improvements.*

This proposal includes new plans for the main building, parking lot, landscaping, and dumpster. The exterior architectural elements include varying rooflines, projections, overhangs, and materials (stucco and brick) which are shown in the attached building elevations.

The site plan shows the site meeting landscaping area, parking counts, walkway connections, and setbacks, as shown in the attached site plan. However, the site plan shows two stalls which do not meet the Code 14-18-108 for *Size of Parking Stalls*. The removal of these two stalls would not affect the proposed use meeting minimum parking requirements. Staff recommends these two stalls be converted to landscaping, as shown in Figure 2 below.

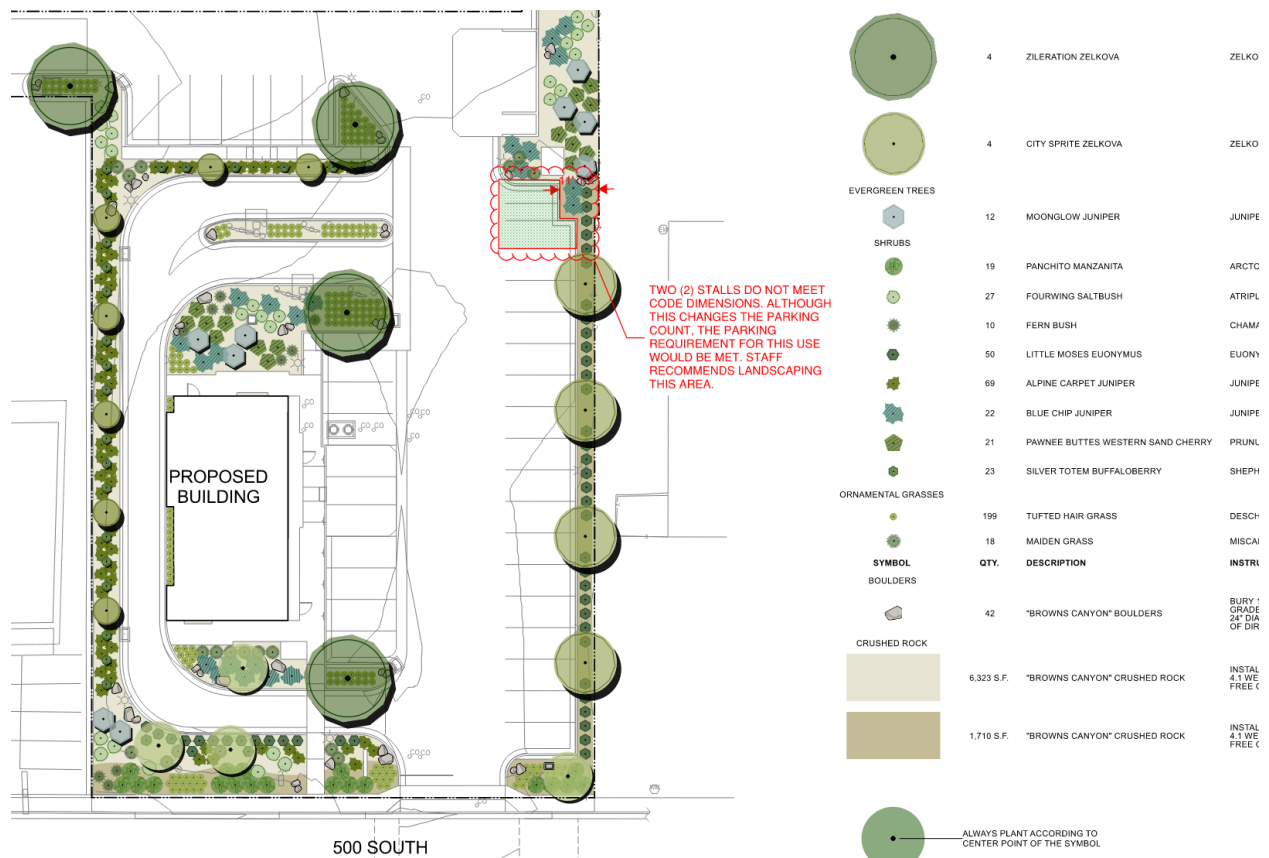


Figure 2. Landscape Plan with Staff Review Comment

The proposed site plan meets safe, adequate pedestrian and vehicle access, which is an improvement of the existing site. The proposed use and adjacent property to the north would use the same access through the parking lot, which is approved by Utah Department of Transportation (UDOT). The UDOT plan, shown in Figure 3 below, shows six (6) parking stalls on the proposed parcel, which requires access through the property to the north. Staff recommends the applicant to provide the City with a recorded access agreement with the adjacent property to ensure access is established prior to building permit approval.

The new structure and updated landscaping are also improvements to the site and surrounding area. This proposal meets the goals and objectives of the General Plan, where old commercial areas need to be redeveloped (Bountiful City 2009 General Plan – Land Use Master Plan pg.2)



Figure 3. UDOT Plan

Department Review

This staff report was written by the Senior Planner and was reviewed by the City Engineer, City Attorney, and Planning Director.

Significant Impacts

There are minimal impacts of this proposed development on the property and surrounding uses. The property was previously used as a restaurant and is now a vacant lot. The existing infrastructure, such as water, sewer, culinary water, and transportation are in place to support this development.

Recommendation

Staff recommends that the Planning Commission review the proposal, hold a public hearing, and approve the Conditional Use Permit (CUP) for a fast-food restaurant with a drive-up at 386 West 500 South, subject to meeting all department staff review comments.

Staff recommends that the Planning Commission review the Preliminary/Final Architectural and Site Plan application for the fast-food restaurant, *Jack in the Box*, and forward a positive recommendation to the City Council subject to:

1. Update the Landscape and Site Plan to replace two (2) noncomplying parking stalls with landscaping.

2. Provide a copy of a recorded access agreement between the property to the north prior to building permit approval.

Attachments

1. Final Site Plan
2. Landscape Plan
3. Floor Plan
4. Building Elevations



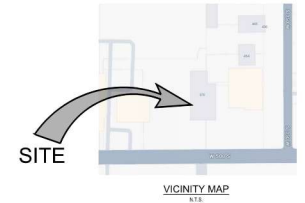
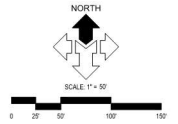
COORDINATE INSTALLATION OF CULINARY WATER INFRASTRUCTURE WITH BOUNTIFUL CITY WATER DEPT.



JACK IN THE BOX - BOUNTIFUL

CONSTRUCTION PLANS

386 WEST 500 SOUTH 
BOUNTIFUL, UTAH



DRAWING INDEX

SHEET	DESCRIPTION
CS-00	CIVIL COVER SHEET
CS-01	GENERAL NOTES, LEGEND AND ABBREVIATIONS
C1-00	LOT EXIST
C1-01	CIVIL SITE PLAN
C2-01	SEWERING AND DRAINAGE PLAN
C2-02	EROSION CONTROL PLAN
CS-01	SITE UTILITY PLAN
CS-01	MISCELLANEOUS SITE DETAILS
CS-02	MISCELLANEOUS SITE DETAILS
CS-03	MISCELLANEOUS EROSION DETAILS

ALL WORK AND MATERIALS FOR WATER
MUST CONFORM TO BOUNTIFUL CITY
STANDARDS AND SPECIFICATIONS

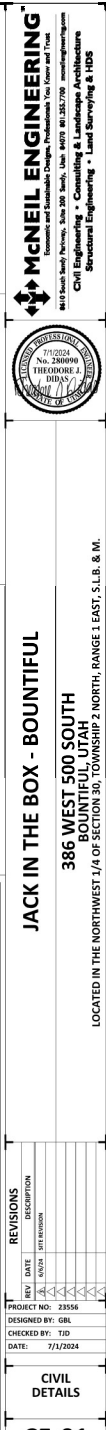
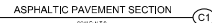
ALL WORK AND MATERIALS FOR SEWER
MUST CONFORM TO SOUTH DAVIS
SEWER DISTRICT STANDARDS AND
SPECIFICATIONS

ALL WORK AND MATERIALS MUST
CONFORM TO BOUNTIFUL CITY AND
UDOT STANDARDS AND SPECIFICATIONS

DEVELOPER & OWNER

MR. STOCKTON LASALLE
FAUSTRA LLC
801-400-9854
501 E. CHARTER COVER
SALT LAKE CITY, UT 84103
ECS@STOCKTONLASALLE.COM





SITE LEGEND

—	PROPERTY BOUNDARY LINE	—	PROPOSED SITE LIGHTING BUILDING
—	EXISTING EASEMENT PROPOSED EASEMENT	—	ENTRANCE WHEEL STOP
—	PROPOSED ASPHALT PAVING	—	ACCESSIBLE PARKING SPACES
—	PROPOSED CONCRETE PAVING	—	BIKE RACK
—	EXISTING SIDEWALK	—	PROPOSED TRANSFORMER LOCATION
—	PROPOSED SIDEWALK	—	PROPOSED WATER METER LOCATION
—	EXISTING CURB AND GUTTER	—	PROPOSED GREASE INTERCEPTOR LOCATION
—	PROPOSED CURB AND GUTTER	—	NUMBER OF PARKING STALLS
—	CURB RAMPS	—	LIMITS OF WORK
		—	VEHICLE STACKING

GENERAL CONDITIONS

GENERAL CONTRACTOR SHALL NOTE THAT ALL WORK TO BE DONE SUCH AS EXCAVATIONS, TRENCHES, CASSONS, WALLS, ETC. AS INDICATED ON DRAWINGS, IS SHOWN WITHOUT KNOWLEDGE OF UNDERGROUND UTILITIES ON THIS PARTICULAR SITE. THE ARCHITECT AND OWNER ASSUME NO RESPONSIBILITY FOR DETERMINING THEIR LOCATION, SIZE, DEPTH, OR HAZARD.

LEGAL DESCRIPTION

BEG ON THE N LINE OF 500 SOUTH STR AT A PT WH IS S 89°40'54" W 879.78 FT FOR THE SE COR OF LOT 4, BLK 3, MD PLAT, BOUNTIFUL TS SURVEY; TH W ALG THE N LINE OF 3D 500 SOUTH STR 143.54 FT; TH N 200 FT; TH W 91.81 FT; TH N 24.3 FT; TH E 214.85 FT; TH N 13 FT; TH E 6 FT; TH N 11.5 FT; TH E 15 FT; TH S 248.80 FT TO THE POB. CONT. 0.80 ACRES.

SITE INFORMATION

PARCEL NUMBER: 030250122
PARCEL AREA: ±39,444 SF (0.80 ACRES)
ZONE: C-G (GENERAL COMMERCIAL)

GENERAL NOTES

- REFER TO THE ACCESSIBILITY AND DIMENSIONING PLAN, SHEET SD1.1, FOR HORIZONTAL CONTROL INFORMATION AND JOINT DETAILING.
- GENERAL CONTRACTOR SHALL PROVIDE, AS REQUESTED BY CONSTRUCTION MANAGER, "COMING SOON" SIGNAGE, SEE DETAIL 9/SD2.1.
- ALL SITE CONCRETE PAVING SHALL BE SPRAYED WITH A CURING COMPOUND AS SOON AS CONCRETE IS SET UP.
- GENERAL CONTRACTOR SHALL PROVIDE 12"x12" LANDSCAPE PAVERS AT WINDOWS WHEN LANDSCAPE IS PROVIDED AROUND WINDOW AREAS.

PARKING REQUIREMENTS

THE PARKING REQUIREMENTS FOR THIS PARCEL ARE AS FOLLOWS:
BUILDING FOOTPRINT SQUARE FOOTAGE = 2,420 SQFT

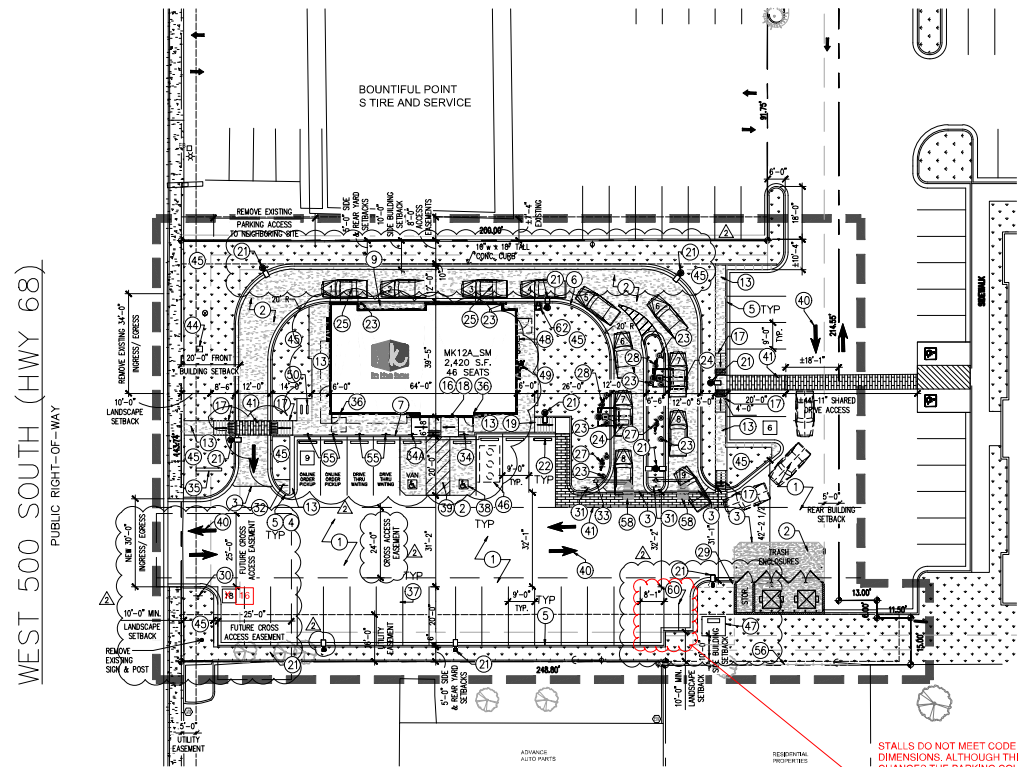
1 STALL/2 DINING SEATS OR 1 STALL/100 SQF WHEN NUMBER OF SEATS IS UNKNOWN, 46/2 = 23 STALLS

ACCESSIBLE PARKING PROVIDED: 2 STALLS
STANDARD PARKING PROVIDED: 30 STALLS
TOTAL PARKING PROVIDED: 32 STALLS

MINIMUM OF 2 BICYCLE SPACES REQUIRED
TOTAL BICYCLE SPACES PROVIDED: 2 SPACES

KEYNOTES

- INSTALL ASPHALT PAVING; REFER TO THE CIVIL DRAWINGS AND GEOTECHNICAL RECOMMENDATIONS UNDER SEPARATE COVER.
- INSTALL CONCRETE PAVING; REFER TO THE CIVIL DRAWINGS AND GEOTECHNICAL RECOMMENDATIONS UNDER SEPARATE COVER.
- PROVIDE THICKENED CONCRETE EDGE AT PAVING INTERFACE; SEE DETAIL 9/SD2.0.
- CONSTRUCT CONCRETE CURB AND GUTTER; SEE DETAIL 13/SD2.0.
- CONSTRUCT CONCRETE CURB AT ASPHALT PAVING; SEE DETAIL 3/SD2.0.
- CONSTRUCT CONCRETE CURB AT CONCRETE PAVING; SEE DETAIL 4/SD2.0.
- CONSTRUCT MONOLITHIC CONCRETE CURB AND SIDEWALKS; SEE DETAIL 4/SD2.0.
- NOT USED - (CONSTRUCT MONOLITHIC CONCRETE CURB AND PAVING; SEE DETAIL 5/SD2.0.)
- CONSTRUCT CONCRETE CURB AT BUILDING SIDE OF DRIVE-THRU LANE; SEE DETAIL 6/SD2.0.
- NOT USED - (CONSTRUCT CONCRETE CURB & GUTTER AT BOTTOM RAMP; SEE DETAIL 19/SD2.0.)
- NOT USED - (SAW CUT AND REMOVE EXISTING PAVING AND/OR SIDEWALK. REMOVE A MINIMUM 2-INCH ASPHALT PAVING TO ENSURE PROPER INSTALLATION OF PATCH BACK. ASPHALT PATCH BACK TO MUNICIPALITY STANDARDS.)
- NOT USED - (INSTALL CONCRETE CROSS PAN (DRIVE APPROACH) TO MUNICIPALITY STANDARDS.)
- INSTALL 4-INCH (MIN) THICK CONCRETE SIDEWALK WITH LIGHT BROOM FINISH. SEE DETAIL 2/SD2.1.
- NOT USED - (INSTALL TALL & THICK LANDSCAPING TO PROHIBIT THE PASSAGE OF PATRONS FROM PATIO INTO DRIVE-THRU AREA & PARKING.)
- NOT USED - (DOWEL TO EXISTING CONCRETE PAVING WITH 18-INCH NO. 4 BARS AT 18-INCHES O.C.; MINIMUM OF TWO BARS - REDUCE SPACING AS NECESSARY.)
- CONSTRUCT FLARE SIDED (WINGED) CURB RAMP; SEE DETAIL 13/SD2.0.
- NOT USED - PROVIDE RAMP AND LANDINGS AT HANDICAP ACCESSIBLE PARKING SPACES; SEE DETAIL 15/SD2.0.
- CONSTRUCT DELIVERY RAMP; SEE DETAIL 17/SD2.0.
- NOT USED - PROVIDE PUBLIC RIGHT-OF-WAY ACCESS RAMPS PER THE MUNICIPALITY STANDARDS.
- INSTALL LIGHT POLE BASE; SEE DETAIL 18/SD2.1. REFER TO SHEET ES1.1 FOR POLE AND FIXTURE REQUIREMENTS.
- INSTALL CONCRETE WHEEL STOP TYPICAL AT HANDICAP SPACES AND STANDARD SPACES FRONTING 6-FOOT OR LESSER WIDTH SIDEWALKS; SEE DETAIL 9/SD2.0. SEE KEYNOTE 55.
- INSTALL BARRIER POSTS AT PREVIEW BOARD, MENU BOARD, AND PERIPHERAL TO BUILDING CORNERS; SEE DETAIL 4/SD2.1. CONTRACTOR TO PROVIDE SLEEVES THROUGH CURB AND GUTTER WHERE APPROPRIATE. SEE A1.0 FOR DIMENSIONING CONTROL & BARRIERS ADJACENT TO BUILDING.
- INSTALL DETECTOR LOOP FOR ORDER BOARD; SEE DETAIL 18/SD2.1.
- INSTALL DETECTOR LOOP AT PICK UP WINDOW AND CASH WINDOW; SEE DETAIL 10/SD2.1.
- NOT USED - PROVIDE TRASH RECEPTACLE. LOCATE AS REQUIRED FOR SITE CONDITIONS.
- INSTALL PREVIEW BOARD; SEE DETAIL 20/SD2.0.
- INSTALL ORDER/SPEAKER BOARD AND WEATHER PROTECTION CANOPY; SEE DETAIL 18/SD2.1.
- CONSTRUCT MASONRY BLOCK TRASH ENCLOSURE; SEE DETAIL 16/SD2.2.
- SITE "ENTRY" SIGN UNDER SEPARATE COVER. GENERAL CONTRACTOR REFER TO SHEET ES1.0 FOR CONDUIT AND WIRING REQUIREMENTS.
- SITE "DRIVE-THRU" SIGN UNDER SEPARATE COVER. GENERAL CONTRACTOR REFER TO SHEET ES1.0 FOR CONDUIT AND WIRING REQUIREMENTS.
- SITE "THANK YOU/DO NOT ENTER" SIGN UNDER SEPARATE COVER. GENERAL CONTRACTOR REFER TO SHEET ES1.0 FOR CONDUIT AND WIRING REQUIREMENTS.
- INSTALL DOUBLE BAR HEIGHT CLEARANCE (9'-0") AND WARNING POLE SIGN; SEE DETAIL 20/SD2.1. DO NOT INCLUDE SITE "DRIVE-THRU" SIGN.
- INSTALL SINGLE BAR HEIGHT CLEARANCE (9'-0") AND WARNING POLE SIGN; SEE DETAIL 20/SD2.1. INCLUDE SITE "DRIVE-THRU" SIGN; SEE NOTE 31.
- INSTALL DRIVE-THRU ENTRY PORTAL; SEE DETAIL 1/SD2.1. DO NOT INCLUDE SITE "DRIVE-THRU" SIGN.
- INSTALL ACCESSIBLE PARKING SIGN; SEE DETAIL 8/SD2.1.
- INSTALL ACCESSIBLE PARKING SIGN WITH "VAN" PLACARD. SEE DETAIL 8/SD2.1.
- PROJECT MONUMENT SIGN: GENERAL CONTRACTOR TO PROVIDE CONDUIT AND WIRING PER SHEET ES1.0. INSTALLATION BY SIGN CONTRACTOR.
- APPLY INTERNATIONAL SYMBOL OF ACCESSIBILITY DECAL ON DOOR.
- PAINT 4-INCH SOLID WHITE PARKING STRIPES TO MUNICIPALITY STANDARDS. SEE KEYNOTE 55.
- PAINT ACCESSIBLE PARKING SYMBOLS, TEXT, AND DIAGONALS; SEE DETAIL 13/SD2.2.
- (PAINT 4-INCH SOLID WHITE STRIPES AT 8-INCHES O.C. AND 45-DEGREES TO TRAFFIC DIRECTION, BORDER WITH 6-INCH SOLID WHITE STRIPS. TYPICAL LOADING SPACES AS SHOWN.)
- PAINT TRAFFIC DIRECTIONAL ARROWS; SOLID WHITE AND TYPICAL AS SHOWN.
- DECORATIVE PAVEMENT AT PEDESTRIAN CROSSINGS. DECORATIVE PAVEMENT TO BE STAMPED AND COLORED CONCRETE. MANUFACTURER: BROOKFORD. COLOR/PATTERN: RUNNING BOND NEW BRICK.
- NOT USED - (INSTALL OUTDOOR SEATING PER PLAN. VERIFY WITH IF PATIO. FURNITURE IS TO BE USED; VERIFY WITH LOCAL AUTHORITY IF PATIO ALLOWED. SEE DETAIL 1 & 2/SD2.3.)
- NOT USED - INSTALL PEDESTRIAN GUARD RAILING; SEE DETAIL 3/SD2.1.
- PROPOSED WATER METER, CONTRACTOR TO COORDINATE WITH THE APPROPRIATE UTILITY PROVIDER. REFER TO SHEET PS1.0.
- PROVIDE SCHEDULE 40 PVC SLEEVES AT 2X DIAMETER OF PROPOSED IRRIGATION PIPING. TYPICAL OF ALL LANDSCAPE AREAS. REFER TO SHEET I1.1.
- PROPOSED GREASE INTERCEPTOR, CONTRACTOR TO COORDINATE WITH THE APPROPRIATE UTILITY PROVIDER. REFER TO SHEET SP1.0.
- PROPOSED TRANSFORMER LOCATION, CONTRACTOR TO COORDINATE WITH THE APPROPRIATE UTILITY PROVIDER. BOLLARDS INSTALLED PER PROVIDER STANDARDS. REFER TO SHEETS PS1.0 AND ES1.0.
- PROPOSED ELECTRIC METER AND CABINET MANUFACTURER, CONTRACTOR TO COORDINATE WITH THE APPROPRIATE UTILITY PROVIDER. REFER TO SHEET SP1.0.
- PROPOSED GAS METER LOCATION, CONTRACTOR TO COORDINATE WITH THE APPROPRIATE UTILITY PROVIDER. BOLLARDS INSTALLED PER PROVIDER STANDARDS. REFER TO SHEETS PS1.0 AND PS3.0.
- INSTALL U-BAR BIKE RACK(S); SEE DETAIL 4/SD2.2.
- NOT USED - (CONSTRUCT CONCRETE ROOF DRAIN SWALE; SEE DETAIL 15/SD2.2. COORDINATE W/ CIVIL DWGS IF STORM WATER IS TO BE PROVIDED.)
- NOT USED - (PAINT 4-INCH SOLID WHITE STRIPS TO MUNICIPALITY STANDARDS.)
- NOT USED - (POSSIBLE CROSS ACCESS DRIVE IF REQUIRED.)
- NOT USED - (LOCATION OF EXTERIOR WATER METER AND BACKFLOW PREVENTER IF REQUIRED. SEE DETAIL 18/SD2.2.)
- DEDICATED WAITING STALL PARKING SIGN, SEE DETAIL 8/SD2.1. PAINT PARKING STALL STRIPING IMPULSIVE PURPLE FOR ONLINE ORDERING/DELIVERY PARKING SPOTS. PAINT WHEEL STOPS AT THE DEDICATED WAITING SPACES IMPULSIVE PURPLE.
- EXISTING FENCE, GC TO CONFIRM CONDITION OF EXISTING FENCE. IF IN NEED OF REPAIR, REPLACE WITH 6" HIGH CEDAR FENCE WITH CLEAR STAIN. PLACE TREATED 4X4 POSTS EVERY 8' WITH TREATED 2X4 RAILS.
- NOT USED - (2) 44" x 32" W METAL RAILING. SEE DETAIL 3/SD2.1.
- DRIVE-THRU ARROW, PAINTED IMPULSIVE PURPLE. SEE DETAIL 20/SD2.2.
- NOT USED - (EXPRESS LANE ARROW, PAINTED WHITE. SEE DETAIL 20/SD2.2.)
- MOTORCYCLE PARKING
- NOT USED - (PART 18" WIDE SOLID STRIPE. ADD STENCIL "WAIT HERE".)
- OF-WR2 TRASH RECEPTACLE ON 3' x 3' CONCRETE PAD
- NOT USED - (PAINT 4" WIDE SOLID STRIPE FOLLOWING EXTENT OF DRIVE THRU LANE.)
- NOT USED - (OF-WR1 TRASH & RECYCLING RECEPTABLES, SEE ENLARGED PLAN ON 6 & 16/SD2.2.)



SITE PLAN

SCALE: 1" = 20'

STALLS DO NOT MEET CODE DIMENSIONS. ALTHOUGH THIS CHANGES THE PARKING COUNT, THE PARKING REQUIREMENT FOR THIS USE WOULD BE MET. STAFF RECOMMENDS LANDSCAPING THIS AREA.

Reviewed by 07/08/2024
Bountiful Building Department
Don Simons, Building Official

PLAN REVIEW
07/08/2024 1:49:54 PM
Bountiful City Engineer
Lloyd Chenev, Bountiful City Engineer

REVIEWED BY PLANNING
AMBER CHENEV, PLANNING PLANNER
Bountiful EST. 1847

CALL STATE UTILITY NOTIFICATION CENTER
1-801-208-2100
CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG. GRAB OR EXCAVATE FOR THE MARKING OF UNDERGROUND UTILITIES.

Jack
In the box

9357 SPECTRUM CENTER BLVD
SAN JOSE, CA 95131
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DATES

RELEASE: OCTOBER 2022
P.M. UPDATES: SEPTEMBER 2023

SUBMITTAL DATE:
1: 01/30/2024
2: 04/15/2024
3:

BD:
CONSTRUCTION:

REVISIONS

NO.	DATE	DESCRIPTION
1	01/30/2024	PLAN REVIEW COMMENTS
2	04/15/2024	PLAN REVIEW COMMENTS

Magellan
ARCHITECTS

6881 158th Avenue Northwest, Suite 200
Edmonds, WA 98149
Tel: (206) 885-4300 Fax: (206) 885-4300
www.magellanarchitects.com
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SEAL OF THE CITY OF BOUNTIFUL
JULY 1847
PLANNING DEPARTMENT

SITE INFORMATION

BLDG TYPE: MK12A_SM
JOB #: 01326
ADDRESS:
386 W 500 SOUTH
BOUNTIFUL, UT 84010

DRAWN BY: KB
PROJECT #: 22-082
SCALE: 1" = 20'-0"

SITE PLAN

MK12A_SM
SD1.0



BOUNTIFUL CITY DATA

CH. 6: COMMERCIAL
CH. 16: LANDSCAPING AND FENCING

ZONED AS	GENERAL COMMERCIAL (C-G)	
TOTAL SITE AREA	34,944 S.F.	
ON-SITE LANDSCAPE AREA	8,075 S.F.	
GENERAL:	REQUIRED	PROVIDED
REQUIRED LANDSCAPE AREA	15% MIN. = 5,242 S.F.	8,075 S.F. = 23%
REQUIRED TREES - 1 PER 750 S.F. OF REQUIRED LANDSCAPE AREA (EXCL. REQUIRED BUFFER & PARKING LOT TREES)	5,242 S.F. / 750 = 7	14
REQUIRED SHRUBS - 1 PER 200 S.F. OF REQUIRED LANDSCAPE AREA	5,242 S.F. / 200 = 26	>26
LAWN AREAS	20% MAX. = 6,989 S.F.	0%
FRONTAGE:		
FRONTAGE LANDSCAPE AREA	MIN. 10' WIDE	YES
STREET TREES - 1 PER 30' OF FRONTAGE	144' / 30 = 4	4
SETBACKS:		
FRONT YARD	20' MIN.	YES
SIDE YARD	10' MIN.	YES
REAR YARD	10' MIN.	YES
WARD ABUTTING RESIDENTIAL	20' MIN. ON THE ABUTTING SIDE(S)	YES
BUFFER:		
LANDSCAPE BUFFER ADJACENT TO RESIDENTIAL PROPERTIES	10' MIN.	YES
REQUIRED TREES (FROM TREE SELECTION LIST) - 1 PER 30' ALONG BUFFER	11	YES
PARKING LOT:		
REQUIRED LANDSCAPE AREA	5% = 1,496 S.F.	1,864 S.F. = 6%
LANDSCAPE BUFFER ADJACENT TO PROPERTY LINE	5' MIN.	YES
REQUIRED TREES - 1 PER 40' OF LANDSCAPE MEDIAN		YES

LANDSCAPE SCHEDULE

SYMBOL	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	DETAIL
DECIDUOUS TREES					
	7	PRAIRIE SENTINEL COMMON HACKBERRY	CELTIS OCCIDENTALIS 'JFS-KSU1' PRAIRIE SENTINEL®	2" CAL.	DL5.01
	4	SUMMER SPRITE LINDEN	TILIA CORDATA 'HALKA'	2" CAL.	DL5.01
	4	ZILERATION ZELKOVA	ZELKOVA SERRATA 'ZILERATION'	2" CAL.	DL5.01
	4	CITY SPRITE ZELKOVA	ZELKOVA SERRATA 'JFS-KW1'	2" CAL.	DL5.01
EVERGREEN TREES					
	12	MOONGLOW JUNIPER	JUNIPERUS SCOPULORUM 'MOONGLOW'	6' HT.	EL5.01
SHRUBS					
	19	PANCHITO MANZANITA	ARCTOSTAPHYLOS X COLORADOENSIS 'PANCHITO'	5 GAL.	BL5.01
	27	FOURWING SALTBUUSH	ATRIPLEX CANESCENS	5 GAL.	BL5.01
	10	FERN BUSH	CHAMAEBATARIA MILLEFOLIUM	5 GAL.	BL5.01
	50	LITTLE MOSES EUONYMUS	EUONYMUS ALATUS 'ODOM PP13166 LITTLE MOSES	5 GAL.	BL5.01
	69	ALPINE CARPET JUNIPER	JUNIPERUS COMMUNIS 'MONDAP'	5 GAL.	BL5.01
	22	BLUE CHIP JUNIPER	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	5 GAL.	BL5.01
	21	PAWNEE BUTTES WESTERN SAND CHERRY	PRUNUS BESSEYI 'PAWNEE BUTTES'	5 GAL.	BL5.01
	23	SILVER TOTEM BUFFALO BERRY	SHEPHERDIA ARGENTEA 'TOTEM'	5 GAL.	BL5.01
ORNAMENTAL GRASSES					
	199	TUFTED HAIR GRASS	DESCHAMPSIA CESPYTOSA 'PIKE FOUNTAIN'	1 GAL.	AL5.01
	16	MAIDEN GRASS	MISCANTHUS SINENSIS 'ORACILLUM'	3 GAL.	AL5.01
SYMBOL	QTY.	DESCRIPTION	INSTRUCTIONS	SIZE	SOURCE
BOULDERS	42	'BROWNS CANYON' BOULDERS	BURY 1/3 THE DEPTH OF THE BOULDER INTO FINISH GRADE. DO NOT USE BOULDERS THAT ARE LESS THAN 24" DIAMETER. BOULDER SHALL BE WASHED AND FREE OF DIRT AND OTHER FOREIGN DEBRIS.	2'-4" DIAMETER IN ALL DIRECTIONS	BOULDERS FROM BROWNS CANYON QUARRY; CONTACT ONE SOURCE MATERIALS, ONESOURCEMATERIALS.COM, (888) 447-6374.
CRUSHED ROCK	6,323 S.F.	'BROWNS CANYON' CRUSHED ROCK	INSTALLED A MINIMUM 3" DEEP. INSTALL OVER DEWETTS	3/4" DIAMETER	CRUSHED ROCK FROM BROWNS CANYON QUARRY; CONTACT ONE SOURCE MATERIALS, ONESOURCEMATERIALS.COM, (888) 447-6374.
	1,710 S.F.	'BROWNS CANYON' CRUSHED ROCK	INSTALLED A MINIMUM 3" DEEP. INSTALL OVER DEWETTS	2" DIAMETER	CRUSHED ROCK FROM BROWNS CANYON QUARRY; CONTACT ONE SOURCE MATERIALS, ONESOURCEMATERIALS.COM, (888) 447-6374.
		ALWAYS PLANT ACCORDING TO CENTER POINT OF THE SYMBOL			

GENERAL NOTE

- REFER TO COMMON EARTHWORK, TOPSOIL & GRADING, AND PLANTING NOTES ON SHEET L2.01

REFERENCE NOTES

- EXISTING LANDSCAPE TO REMAIN

REVIEWED BY PLANNING
AMBER CORBRIDGE, SENIOR PLANNER

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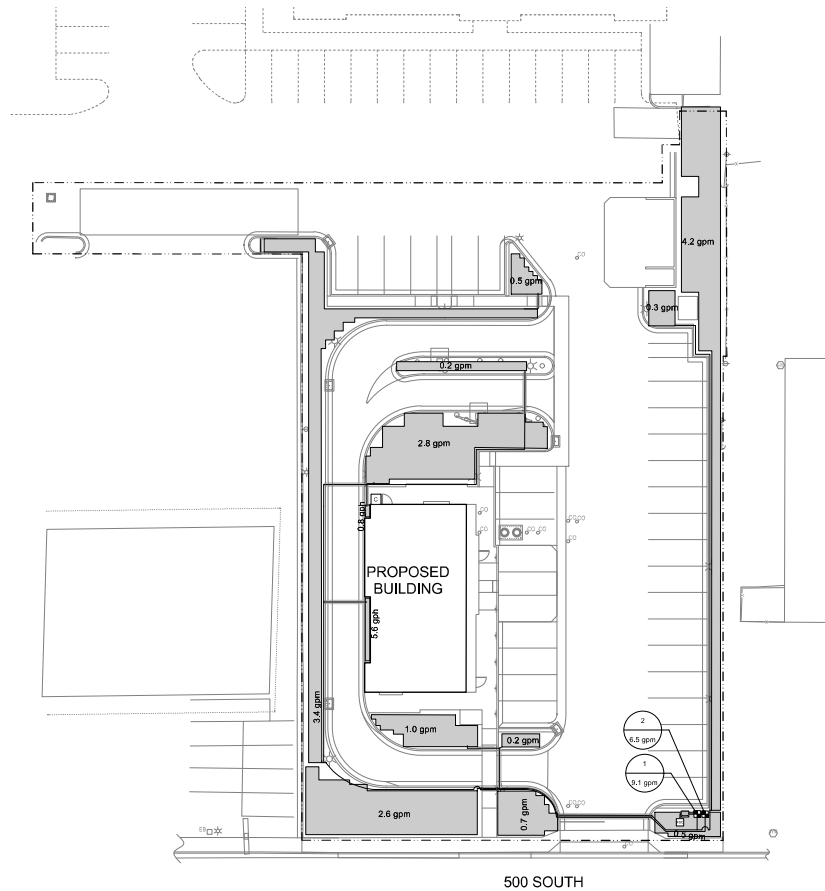
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REV.	DATE	DESCRIPTION
1	10/24/24	CITY REVIEW COMMENTS
2	11/04/24	CITY REVIEW COMMENTS
3	11/04/24	CITY REVIEW COMMENTS
4	11/04/24	CITY REVIEW COMMENTS
5	11/04/24	CITY REVIEW COMMENTS
6	11/04/24	CITY REVIEW COMMENTS
7	11/04/24	CITY REVIEW COMMENTS
8	11/04/24	CITY REVIEW COMMENTS
9	11/04/24	CITY REVIEW COMMENTS
10	11/04/24	CITY REVIEW COMMENTS

PROJECT NO: 23556
DRAWN BY: TG
CHECKED BY: SS
DATE: JANUARY 2024
PROPERTY NO:

LANDSCAPE
PLANTING
PLAN

L2.01



IRRIGATION SCHEDULE

SYMBOL	DESCRIPTION	MANUFACTURER	SERIES	DETAIL
	DRIPPER LINE SPACED @ 18" O.C.	Netafim	TLCV4-18	DL5.02
VALVES				
	DRIP CIRCUIT CONTROL VALVE	RAIN BIRD	XCZ-100-PRB-COM DRIP ZONE KIT WITH 10/32" BSP CONTROL VALVE AND BASKET FILTER WITH BULK-ON PRR	CL5.02
OTHER EQUIPMENT				
	IRRIGATION CONTROLLER WITH RAIN SHUTOFF DEVICE	RAIN BIRD	ESPRUXME	GL5.03
	POINT OF CONNECTION			AL5.03
	CONCRETE PAD FOR FILTER ASSEMBLY			CL5.03
PIPE				
	1" PVC MAIN LINE		SCHEDULE 40 PVC PIPE WITH SCHEDULE 80 PVC FITTINGS	AL5.02
	3/4" PVC LATERAL LINE		SCHEDULE 40 PVC PIPE & FITTINGS	AL5.02
	PIPE SLEEVE UNDER NEW PAVING		SCHEDULE 40 PVC	BL5.02



GENERAL NOTE

1. REFER TO IRRIGATION NOTES ON SHEET L.0.01

AVOID CUTTING UNDERGROUND UTILITIES. IT'S COSTLY.

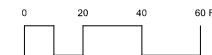
Call 811

BEFORE YOU

540-466-1111

NOTICE!

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.



McNEIL ENGINEERING

Consulting & Landscape Architecture

Structural Engineering • Land Surveying & RDS

1445 South State Parkway, Suite 200, Salt Lake City, UT 84119 • 801.233.7700 • mcneil-engineering.com

SCOTT A. SCHROEDER

REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT

1987

JACK IN THE BOX - BOUNTIFUL

370 WEST 500 SOUTH

BOUNTIFUL, UTAH

REVISIONS

REV	DATE	DESCRIPTION
1	01/04/24	CITY REVIEW COMMENTS
2	01/04/24	CITY REVIEW COMMENTS
3	01/04/24	CITY REVIEW COMMENTS
4	01/04/24	CITY REVIEW COMMENTS
5	01/04/24	CITY REVIEW COMMENTS
6	01/04/24	CITY REVIEW COMMENTS
7	01/04/24	CITY REVIEW COMMENTS
8	01/04/24	CITY REVIEW COMMENTS
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PROJECT NO: 23556

DRAWN BY: TG

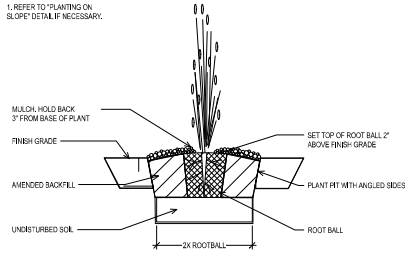
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DATE: JANUARY 2024

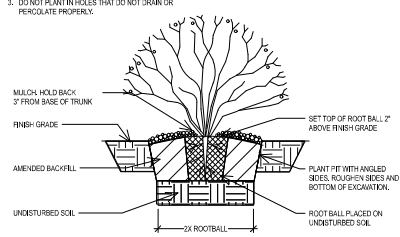
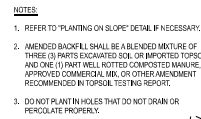
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LANDSCAPE IRRIGATION PLAN

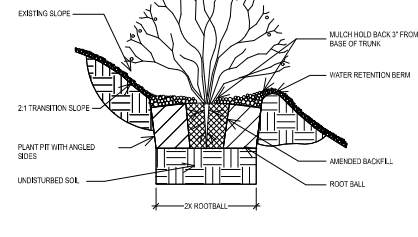
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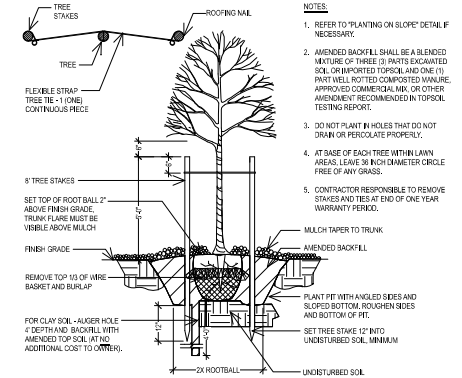
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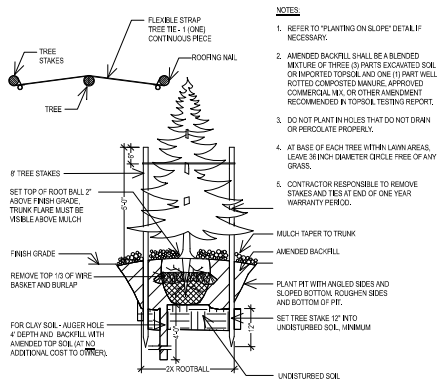
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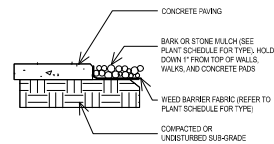
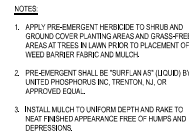
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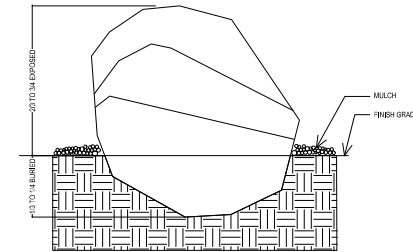
D DECIDUOUS TREE
NO SCALE



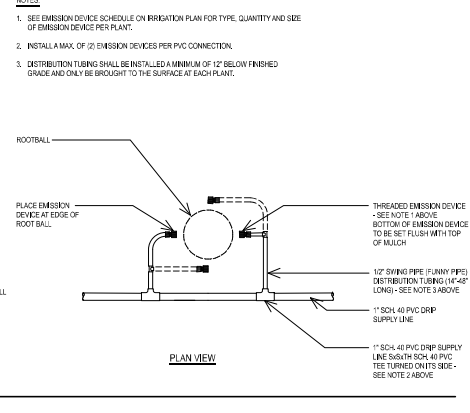
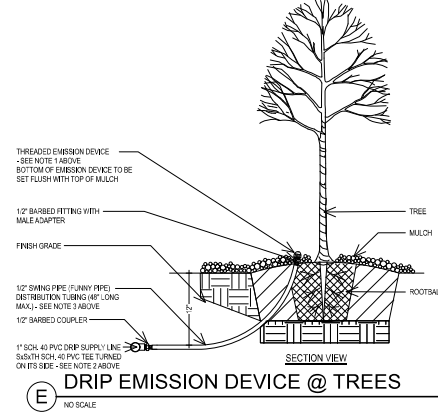
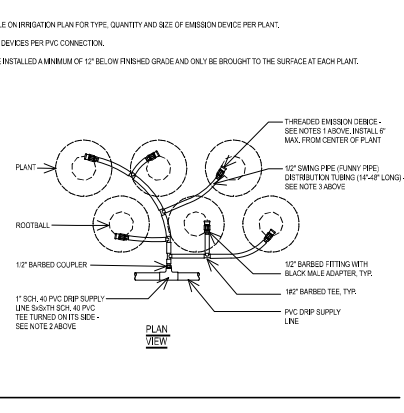
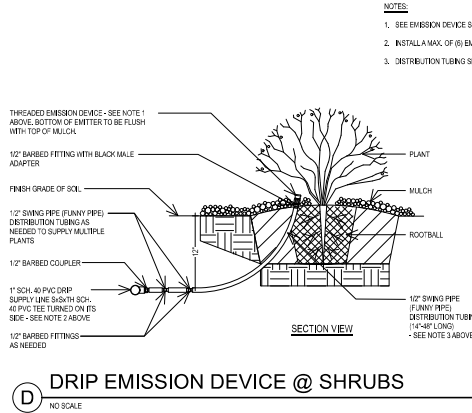
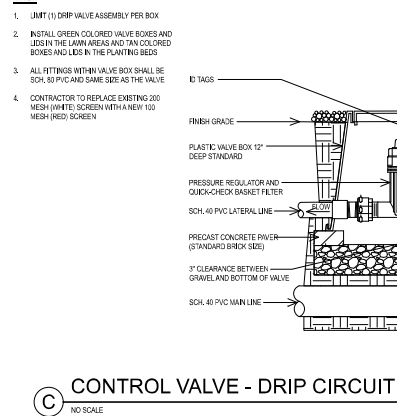
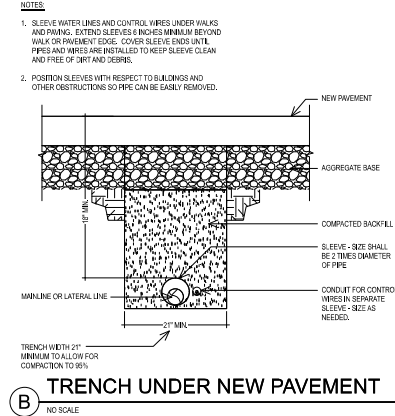
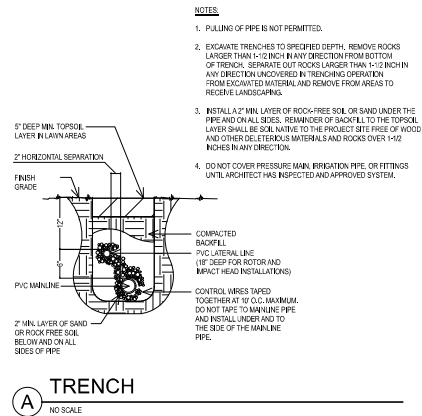
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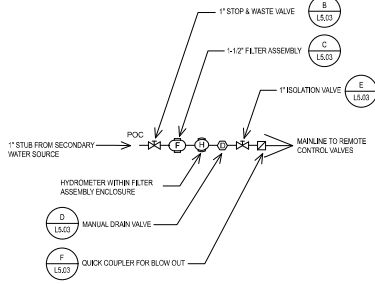
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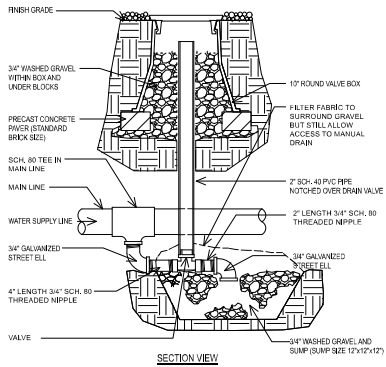
H BOULDER
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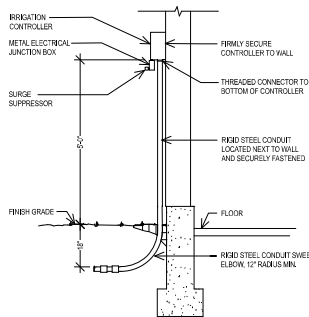
NOTE:
INSTALL ISOLATION VALVE AFTER THE FLOW
SENSOR AND BEFORE THE QUICK COUPLER.
THE FLOW SENSOR, WASTE VALVE, AND
FILTER ASSEMBLY IS TO BE DRAWN
MANUALLY.



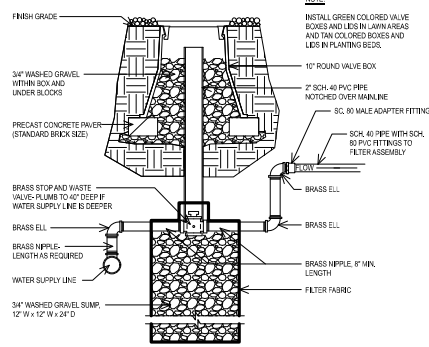
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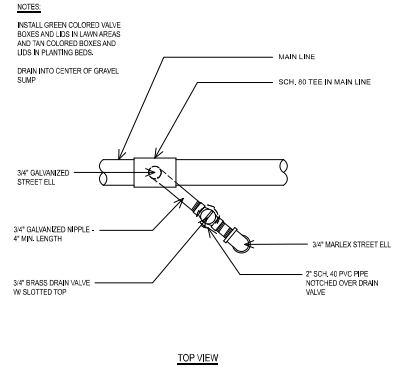
D MAINLINE DRAIN VALVE
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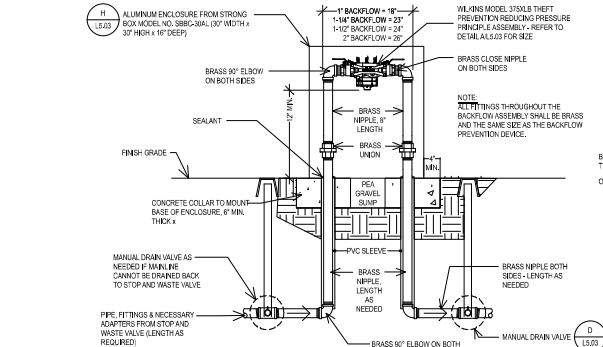
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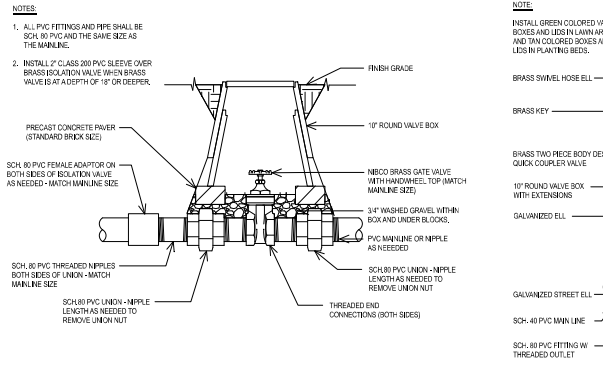
B STOP & WASTE VALVE
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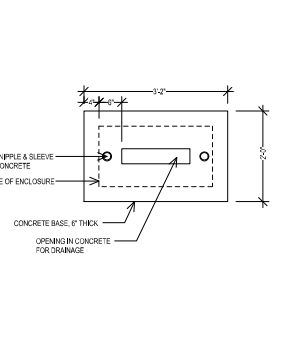
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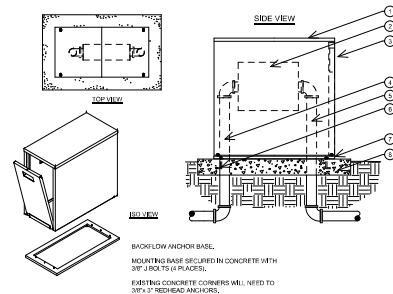
C BACKFLOW PREVENTER
NO SCALE



E ISOLATION VALVE - THREADED
NO SCALE



F QUICK COUPLER VALVE
NO SCALE



H BACKFLOW ENCLOSURE
NO SCALE

REV	DATE	DESCRIPTION
1		
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PROJECT NO:	23556
DRAWN BY:	TG
CHECKED BY:	SS
DATE:	JANUARY 2024
PROPERTY NO:	
LANDSCAPE IRRIGATION DETAILS	

WALL LEGEND

(NOT ALL WALL TYPES MAY BE USED.)

- ALL EXTERIOR WALLS SHALL BE 2x6 WOOD STUDS AT 16" O.C. WITH R-19 BATT INSULATION & 5/8" WATER RESISTANT GYPSUM BOARD ON THE INTERIOR FACE, U.O.N. BELOW. SEE STRUCTURAL DRAWINGS FOR EXTERIOR SHEATHING.

- ALL INTERIOR WALLS SHALL BE 2x4 WOOD STUDS AT 24" O.C. WITH 5/8" WATER RESISTANT GYPSUM BOARD ON BOTH SIDES, U.O.N. BELOW.

- FOR TYPICAL SUBSTRATE AT WALL BASE, SEE DETAILS 12.16, 18.1, & 18.2A.2.

WOOD STUD WALL CONSTRUCTION, SEE NOTES ABOVE.

PARTIAL HEIGHT WOOD STUD CONSTRUCTION, SEE INTERIOR ELEVATIONS FOR HEIGHT.

WOOD STUD WALL CONSTRUCTION WITH R-11 SOUND BATT INSULATION.

5/8" GYPSUM BOARD INTERIOR SIDE ONLY OVER 5-1/2" METAL STUD WALL CONSTRUCTION TO EXTEND 18" MIN. PAST EACH SIDE OF HOOD, SEE STRUCTURAL DWGS. DO NOT INSTALL F.R.P. BEHIND HOODS. STAINLESS STEEL PANELS TO BE USED, SEE KITCHEN DWGS FOR FINISH. PROVIDE NON-COMBUSTIBLE BLOCKING IN WALL. BATT INSULATION IN NON-COMBUSTIBLE WALL AREA SHALL BE UN-FACED NON-COMBUSTIBLE INSULATION.

KEYNOTES

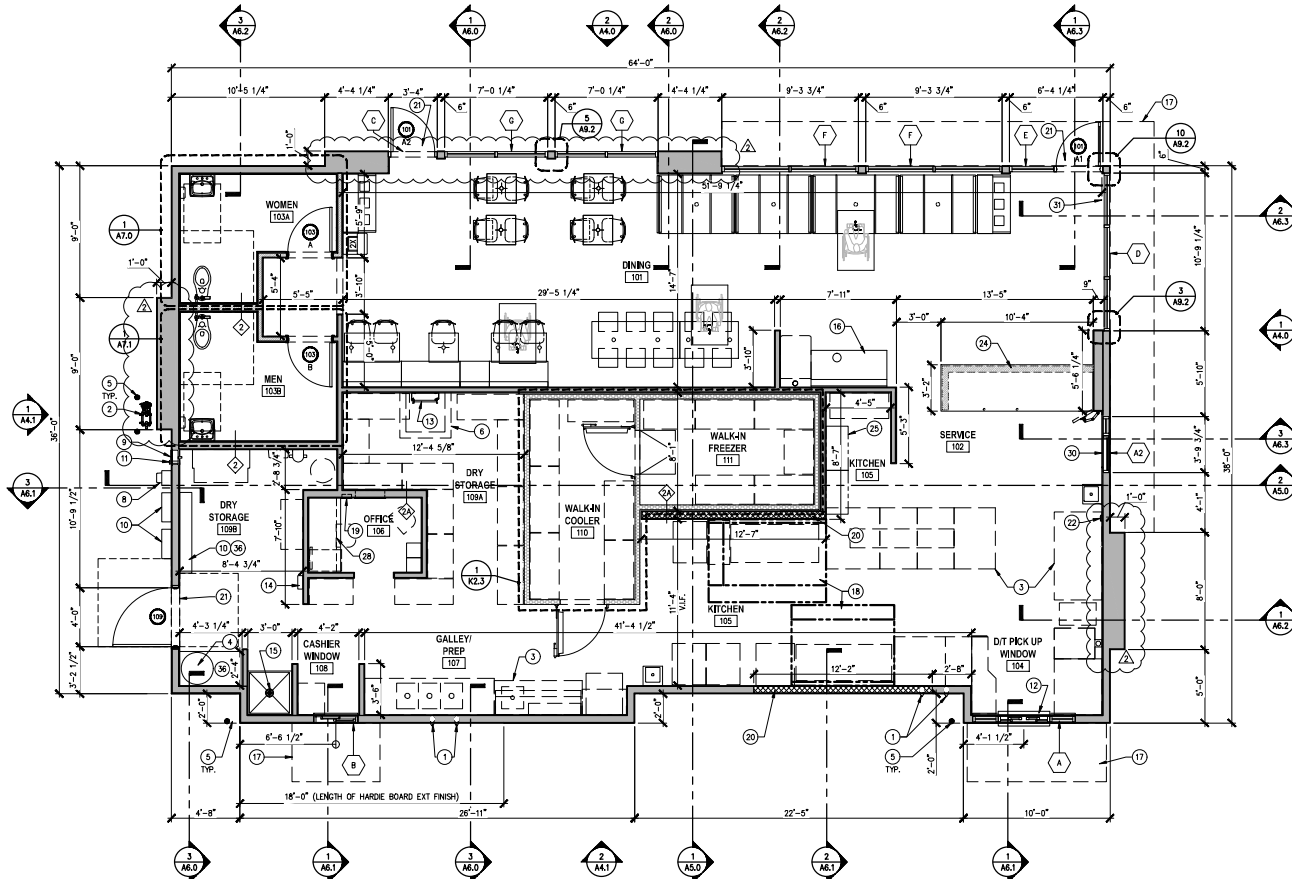
- ROOF DRAWS PER 2.A9.0, SEE SITE PLAN FOR CONTINUATION.
- GAS METER, SEE PLUMBING DRAWINGS.
- LINE OF FOOD SERVICE EQUIPMENT, SEE KITCHEN DRAWINGS.
- WATER HEATER, SEE PLUMB FOR MORE INFORMATION.
- BARRIER POST, TYP., SEE "SD" SHEETS & CIVIL DRAWINGS.
- ALUMINUM BULKHEAD ABOVE WITH ROOF ACCESS HATCH OPENING, FACE EXPOSED SIDES W/ F.R.P. OVER 5/8" GYPSUM BOARD, CENTER ROOF LADDER IN OPENING, SEE ROOF PLAN & DETAIL 9.2A.3.
- LINE OF BULKHEAD/HEADER ABOVE, SEE 13.A9.0 (BULKHEAD ONLY).
- ELECTRICAL METER, SEE EXTERIOR ELEVATIONS & ELECTRICAL DRAWINGS.
- R/TI BULK OIL SYSTEM FILL BOX, SEE DETAIL 5.A9.3.
- ELECTRICAL PANELS, SEE ELECTRICAL DRAWINGS.
- DREASE TANK/ BULK OIL FILL BOX, SEE DETAIL 4.A9.3, KITCHEN & PLUMBING DRAWINGS.
- INTERIOR COUNTER BY WINDOW MANUFACTURER, SEE A8.1.
- LADDER TO ROOF, SEE DETAILS 1.A9.3, 2.A9.3, & 6.A9.3.
- IRRIGATION CONTROLS IN TAMPERPROOF ENCLOSURE, SEE LANDSCAPE AND ELECTRICAL DRAWINGS.
- NOF-SHA, SEE DETAIL 16.A9.0, CONSTRUCT WALLS TO UNDERSIDE OF ROOF DECK ABOVE.

- SELF-SERVICE BEVERAGE COUNTER, SEE D3.1 & KITCHEN SHEETS.
- LINE OF CANOPY, REFER TO A2.0, A5.0 & A6.0 SERIES SHEETS FOR EXTENTS.
- LINE OF KITCHEN HOOD ABOVE, SEE RCP, KITCHEN, & HOOD SHEETS.
- NOT USED.
- EXTENTS OF STEEL STUD FRAMING (NON-COMBUSTIBLE CONSTRUCTION), DO NOT INSTALL F.R.P. AT THIS LOCATION, SEE GENERAL NOTES ON THIS SHEET & STRUCTURAL DRAWINGS.
- LANDING TO SLOPE MAX. 2% AWAY FROM BUILDING, REFER TO DETAIL ON PLUMB, CIVIL, & SITE DESIGN DRAWINGS.
- WALL-MOUNTED ANGULAR PULL LOCATION INSTALLED @ 48" MAX TO TOP OF CONTROLS, SEE K1.0 FOR DETAILS.
- NOT USED.
- SERVICE COUNTER REFER TO D3.0 FOR MORE INFORMATION.
- LINE OF STAINLESS STEEL SHELF ABOVE, PROVIDE 2X FLAT BLOCKING FOR SECURE ATTACHMENT, SEE KITCHEN DRAWINGS FOR SIZE & MOUNTING HEIGHTS.
- NOT USED.
- NOT USED.
- 2X6 FLAT BLOCKING AT EMPLOYEE DESK, SEE K2 SERIES FOR MOUNTING HEIGHT.

- NOT USED.
- VERIFY FINISHED OPENING WITH FOOD PICK-UP WINDOW/FOOD PICK-UP LOCKER WIDTH: WINDOW SIGN (OF-EQ14) WHEN FOOD PICK-UP WINDOW OPTION IS SELECTED, SEE K-SHEETS FOR INTERIOR ELEVATION & SIGN MOUNTING HEIGHT.
- EQUIPMENT SHELF BOX HEADER TO BE (2) 12" 18GA STUDS/ W/ 20GA 5-1/2" TRACT TAB. REFER TO K2.0 FOR MOUNTING HEIGHT.
- NOT USED.
- NOT USED.
- ELEVATED 18" AFF FLOOR PLATFORM, REFER TO A8.0 SERIES AND STRUCTURAL DRAWINGS FOR MORE INFORMATION.
- GC TO POST A THERMAL ENVELOPE CERTIFICATE, COMPLETED BY A 3RD PARTY, TO INCLUDE AND ABIDE BY THE FOLLOWING:
 - THE R-VALUES OF ALL INSULATION INSTALLED IN OR ON CEILINGS, ROOFS, WALLS, FOUNDATIONS, SLAB EDGES, BASEMENT WALLS, CRAWL SPACE WALLS AND FLOOR, AS WELL AS DUCTWORK LOCATED OUTSIDE OF CONDITIONED SPACES.
 - THE U-FACTORS AND SHGC'S OF ALL PENETRATION (I.E., WINDOWS, SKYLIGHTS AND DOORS).
 - THE RESULTS FROM ANY BUILDING ENVELOPE AIR LEAKAGE TESTING PERFORMED ON THE BUILDING.

GENERAL NOTES

- ALL DIMENSIONS SHOWN ARE FACE OF SUBSTRATE TO FACE OF SUBSTRATE, UNLESS OTHERWISE NOTED. DRIVE-THRU WINDOWS AND FOOD PICK-UP LOCKER ARE DIMENSIONED FROM CENTERLINE TO FACE OF SUBSTRATE.
- PROVIDE 2x SOLID BLOCKING IN WOOD FRAMED WALLS AS REQUIRED FOR REINFORCEMENT OF ALL GRAB BARS, RESTROOM FIXTURES, PLUMBING LINES, WALL BUMPERS, KITCHEN SHELVING, AND MILLWORK ATTACHMENT, ETC. SEE SHEET A7 SERIES FOR RESTROOMS AND SHEETS K2.0, K2.1, & K2.2 FOR KITCHEN, EMPLOYEE, AND WORKSTATION AREAS.
- NON-COMBUSTIBLE BLOCKING MUST BE USED BEHIND KITCHEN EQUIPMENT, I.E., HOODS, TACO STATION WHERE METAL STUD FRAMING IS DESIGNATED ON FLOOR PLAN.
- FOR EXTERIOR WALL TREATMENT, SEE EXTERIOR ELEVATIONS.
- CONTRACTOR TO PROVIDE BORIC ACID TERMITE PROTECTION IN ALL WALLS.
- GENERAL CONTRACTOR SHALL COORDINATE THEIR WORK WITH THE WORK OF THE FOOD SERVICE CONTRACTOR.
- FOR ITEMS FURNISHED BY OTHERS & INSTALLED BY GENERAL CONTRACTOR, SEE KITCHEN AND INTERIOR DRAWINGS.
- CONSULT CONSTRUCTION MANAGER FOR REQUIREMENTS FOR AIR CURTAINS AT DRIVE THRU AND CASHIER WINDOWS AND AT DINING ENTRANCES. PROVIDE DOOR SWITCHES AS NECESSARY. REFER TO KITCHEN, MECHANICAL, & ELECTRICAL DWGS.
- ALL DOORS TO BE 4" FROM ADJACENT WALL (2"x2" FRAME), U.O.N.



FLOOR PLAN

ALL DIMENSIONS SHOWN ARE FACE OF SUBSTRATE TO FACE OF SUBSTRATE UNLESS OTHERWISE NOTED. SEE GENERAL NOTES.

SCALE: 1/4" = 1'-0"



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SAN DIEGO, CA 92123
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DATES

RELEASE: OCTOBER 2022

P.M. UPDATES: SEPTEMBER 2023

SUBMITTAL DATE: 1: 01/30/2024

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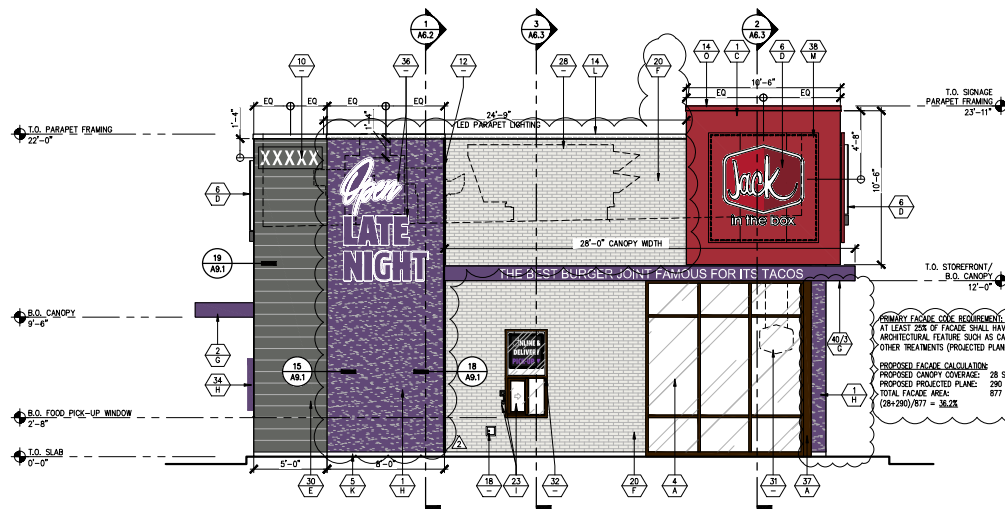
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1 FRONT ELEVATION

SCALE: 1/4" = 1'-0"

GENERAL NOTES

- REFER TO A1.0 FOR DOOR & WINDOW TAGS & A8.0 SHEET SERIES FOR DOOR & WINDOW TYPES & SCHEDULES.
- ALL SIGNAGE IS UNDER SEPARATE SUBMITTAL AND PERMIT (N.L.C.)
- ALL PLASTER ACCESSORIES, FLASHING, ETC. SHALL BE PAINTED TO MATCH ADJACENT SURFACES (U.O.A.)
- ALL EXTERIOR WALL OPENINGS FOR RECEPTACLES, HOSE BIBS, ETC. SHALL BE SEALED. SEE FLOOR PLAN, GENERAL NOTES, AND SPECIFICATIONS FOR ADDITIONAL NOTES.
- ALL FINISHES, LIGHTING, & EQUIPMENT ARE TO BE SUBMITTED TO ARCHITECT FOR REVIEW & APPROVAL.
- SEE ID4 SHEET SERIES FOR EQUIPMENT, FURNITURE, SIGNAGE, & INTERIOR FINISH SCHEDULES DESIGNATED BY "XX-XXX".

COLORS

- DARK BRONZE ANODIZED ALUMINUM
- COLOR / FINISH TO MATCH ADJACENT SURFACE
- SHERWIN WILLIAMS: SW 7588 "SHOW STOPPER"
- JB LOGOS: WHITE TEXT - RED BACKGROUND
- SHERWIN WILLIAMS: SW 7068 "ORIZOLE GRAY"
- THIN-BRICK VENEER: WIRE CUT, "CEBERO"
- CANOPY: SW 6832 "MIDNIGHT PURPLE"
- SHERWIN WILLIAMS: SW 6832 "MIDNIGHT PURPLE"
- FOOD LOOKER & DOOR PULL: RAL 3001 "SIGNAL RED"
- SHERWIN WILLIAMS: SW 7005 "PURE WHITE"
- CONCRETE: NATURAL / GRAY
- COPING: DURALAST "BONE WHITE"
- ACM PANELS: "CLASSIC RED"
- THIN-BRICK VENEER: "MIDNIGHT SKY"
- COPING: DURALAST "BRITE RED"

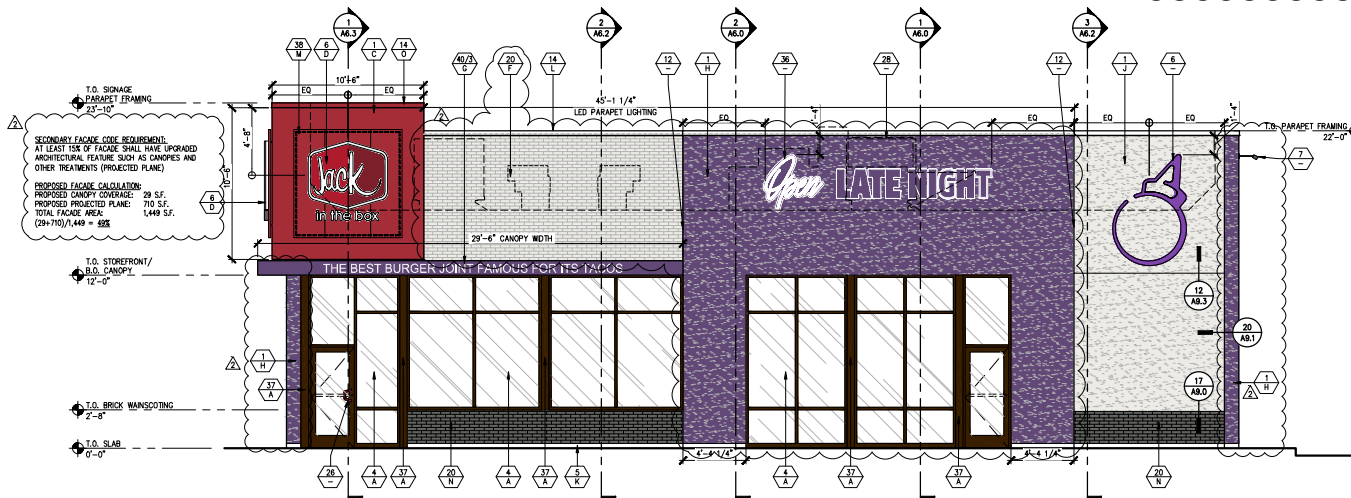
EXTERIOR ELEVATION LEGEND

- MATERIAL/FINISH COLOR
- LED ROPE LIGHT FAÇADE MOUNTED BY JB VENDOR. SEE EXTERIOR ELEVATIONS, DETAILS, & ELECTRICAL DWGS.
- LED ROPE LIGHT IN COPING COVE BY JB VENDOR. SEE EXTERIOR ELEVATIONS, DETAILS, & ELECTRICAL DWGS.

PROPOSED MATERIAL USAGE:
TOTAL MATERIAL AREA: 4,538 S.F.
PRIMARY MATERIAL (STUCCO, BRICK & GLAZING): 3,797 S.F.
3,797 S.F./4,538 S.F. = 83.6% OF TOTAL MATERIAL AREA
SECONDARY MATERIAL (HORIZONTAL LAP SODG): 729 S.F.
729 S.F./4,538 S.F. = 16.1% OF TOTAL MATERIAL AREA

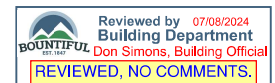
EXTERIOR FINISH SCHEDULE

- EXTERIOR CEMENT PLASTER-SAND FLOAT FINISH & INTEGRAL COLOR, SEE SPECIFICATIONS.
- PRE-FAB CANOPY BY JB VENDOR, SEE DETAIL 2/AB.5 (O.F.O.I.).
- MOUNT LIGHTING FIXTURE WITHIN CANOPY, COORDINATE WITH VENDOR MOUNTING REQUIREMENTS.
- ALUMINUM STOREFRONT SYSTEM, SEE WINDOW TYPES & SPECIFICATIONS.
 - ☒ 1" CLEAR INSULATED GLASS
 - ☐ 1" CLEAR INSULATED GLASS
 - ☐ 1" CLEAR INSULATED
 - ☐ ANTI GRAFFITI FILM
- EXPOSED CONCRETE CURB / STEM WALL.
- INTERNALLY ILLUMINATED SIGNAGE BY JB VENDOR (O.F.O.I.) UNDER SEPARATE SUBMITTAL.
- WALL MOUNTED LIGHT FIXTURE, SEE DETAIL 6/AB.5 FOR FIXTURE ATTACHMENT.
- NOT USED
- DRIVE-UP WINDOW, SEE A1.0 & A8.1.
- INTERNALLY ILLUMINATED ADDRESS, MIN. 12" H, WHITE LETTERS (CF-E08), OR AS REQUIRED PER LOCAL JURISDICTION (O.F.O.I.) UNDER SEPARATE SUBMITTAL.
- MAIN ELECTRICAL SERVICE, SEE ELECTRICAL & CIVIL DWGS.
- CONTROL JOINT, SEE DETAIL 11/AB.3.
- HOLLOW METAL DOORS & FRAMES, MISCELLANEOUS TRIM.
- ALUMINUM COPING WITH FACTORY APPLIED FINISH, VERIFY W/ ROOF PLAN COPING AT LED ROPE LIGHTING LOCATION, SEE DETAILS 6, 7, & 8/AB.6.
- COT FILL BOX, SEE DETAIL 5/AB.3.
- BULK OIL FILL BOX (OPTION), SEE DETAIL 3/AB.3. VERIFY W/ JB CONSTRUCTION IF REQUIRED.
- GREASE TANK RECOVERY TAP-IN (STANDARD), SEE DETAIL 4/AB.3.
- RECESSED, LOCKABLE, NON-FREEZE HOSE-BIB ENCLOSURE.
- NOT USED
- THIN-BRICK VENEER, SEE SPECIFICATIONS.
- DISPLAY POSTER PANEL & SURROUND, SEE DETAIL 9/AB.3.
- EXTERIOR WALL PACK LIGHT FIXTURE
- WALK-UP FOOD WINDOW W/ CASHIER WINDOW MODEL #SC3030-B, BELL PUSH BUTTON (CF-E25) & INTERCOM (CF-E12) / (CF-E13)
- NOT USED
- DOWNSPOUT OUTLET, SEE DETAIL 2/AB.6.
- JB CUSTOM STOREFRONT DOOR PULL, SEE HARDWARE SCHEDULES (CF-E03).
- NOT USED
- ROOF TOP MECHANICAL EQUIPMENT BEYOND, SEE MECHANICAL & HOOD DWGS.
- NOT USED
- FIBER CEMENT 9.25" LAP SODG BY JAMES HARDIE (SMOOTH / PRIMED). SEE SECTIONS, DETAILS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- WINDOW SIGN (CF-E02).
- WINDOW SIGN (CF-E04).
- "PAY HERE" BLADE SIGN (CF-E07A).
- "PICK-UP" BLADE SIGN (CF-E07B).
- GRAPHIC PANEL BY JB SIGN VENDOR (O.F.O.I.) UNDER SEPARATE SUBMITTAL.
- INTERNALLY ILLUMINATED SIGN WITH WHITE LETTERS WITH "PURPLE" BACKGROUND PROVIDED BY JB VENDOR (O.F.O.I.) UNDER SEPARATE SUBMITTAL.
- BRAKE METAL WRAP & COLUMN, SEE SHEET A1.0 & DETAILS ON A8.2.
- METAL PANEL VENER SYSTEM BY JB VENDOR, SEE SEE SECTIONS & DETAILS.
- GAS METER, SEE A1.0, MECHANICAL, & CIVIL DWGS.
- PRE-FABRICATED CANOPY FASCO W/ INTERNALLY ILLUMINATED LETTERS, BY JB VENDOR.



2 SIDE ELEVATION

SCALE: 1/4" = 1'-0"



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DATES

RELEASE: OCTOBER 2022
P.M. UPDATES: SEPTEMBER 2023
SUBMITTAL DATE:
1: 01/30/2024
2: 04/15/2024
3:

BD:

CONSTRUCTION:

REVISIONS

NO.	DESCRIPTION	DATE
1	REVISION	
2	REVISION	
3	REVISION	
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5	REVISION	
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www.magellanchitects.com
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SITE INFORMATION

BLOG TYPE: MK12A_SM
JB #: 01326
ADDRESS:
386 W 500 SOUTH
BOUNTIFUL, UT 84010

DRAWN BY: NAME
PROJECT #: 22-082
SCALE: AS NOTED

EXTERIOR
ELEVATIONS
MK12A_SM
A4.0

Planning Commission Staff Report



Subject: Preliminary/Final Architectural and Site Plan
for a New Lube Center at 77 South 500 West

Author: Amber Corbridge, Senior Planner

Department: Planning

Date: August 6, 2024

Background

The applicant, Christopher Argyle, project manager for *KEC Lube Center*, is requesting Preliminary/Final Architectural Site Plan Approval at 77 South 500 West for a new lube center. The site is approximately .44 acres. This proposal includes demolition of an existing structure previously used for offices, then constructing a new 2,880 square ft. building at about 22' tall (one-story).

Analysis

The property is in the Heavy Commercial (C-H) Zone, where the Bountiful Land Use Code 14-6-111 states that Site Plan Approval shall be required for any new construction or change in use in this zone. The C-H Zone lists a vehicle service and wash as a permitted use. The building would include a main entrance facing 500 West and include three service bays. The building exterior includes gray concrete masonry unit (CMU) walls, high-end glass overhead doors, and black metal canopies, as shown in the attached Building Elevations.

Site Plan Approval Standards

The Planning Commission shall determine if the proposed architectural and site development plans submitted are consistent with the purpose and objectives of the Code (14-2-301). The purpose of the architectural and site plan review and approval process is:

- 1. To determine compliance with the Land Use Code.*
- 2. To promote the orderly and safe development of land in the City.*
- 3. To implement the policies and goals established in the Bountiful City General Plan.*
- 4. To promote the orderly layout of buildings, landscaping, walkways, lighting, and other site improvements.*

The architectural and site plans have been reviewed by staff, where building design, setbacks, height, landscaping, screening, parking, lighting, and all other applicable standards are reviewed for compliance. There are outstanding conditions of approval (COA) regarding the site and planting (landscape) plan, which need to be satisfied prior to building permit approval.

The Planting Plan (attached) shows four (4) trees total, where a minimum of eight (8) trees are required (Code 14-16-109(A)(4)) for this site. Three (3) of the four (4) site trees are considered front yard trees, therefore the plans need to include four (4) additional trees on site. Originally, a Landscape Plan (attached) was submitted meeting this requirement. Recently, a Planting Plan was submitted which needs to either match the Landscape Plan and/or meet the minimum landscaping requirements.

Additionally, the Site Plan shows a hatched area which may indicate a potential access to the property to the north, see red shaded area in Figure 1 below. Staff recommends the applicant submit a copy of a recorded access easement.

In addition to the shared access agreement with the Big-O property to the north, UDOT has given the applicant the option of:

1. Closing the north access to this property by removing the drive approach and installing curb and gutter AND provide a cross-access agreement with the Cache Valley Bank property to the south.
2. Provide a traffic impact study for this site.

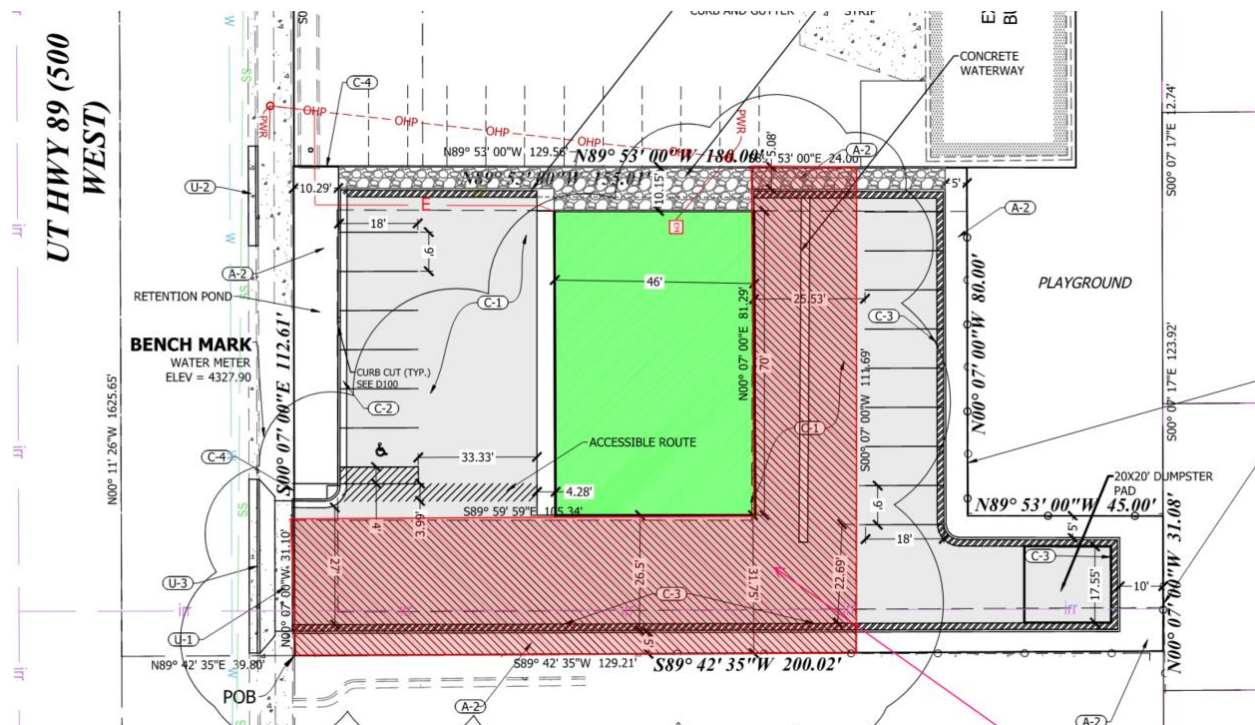


Figure 1. Submitted Site Plan

Department Review

This staff report was written by the Senior Planner and was reviewed by the City Engineer, City Attorney, and Planning Director.

Significant Impacts

There are minimal impacts of this proposed development on the property and surrounding uses. The existing infrastructure, such as water, sewer, culinary water, and transportation are in place to support this development.

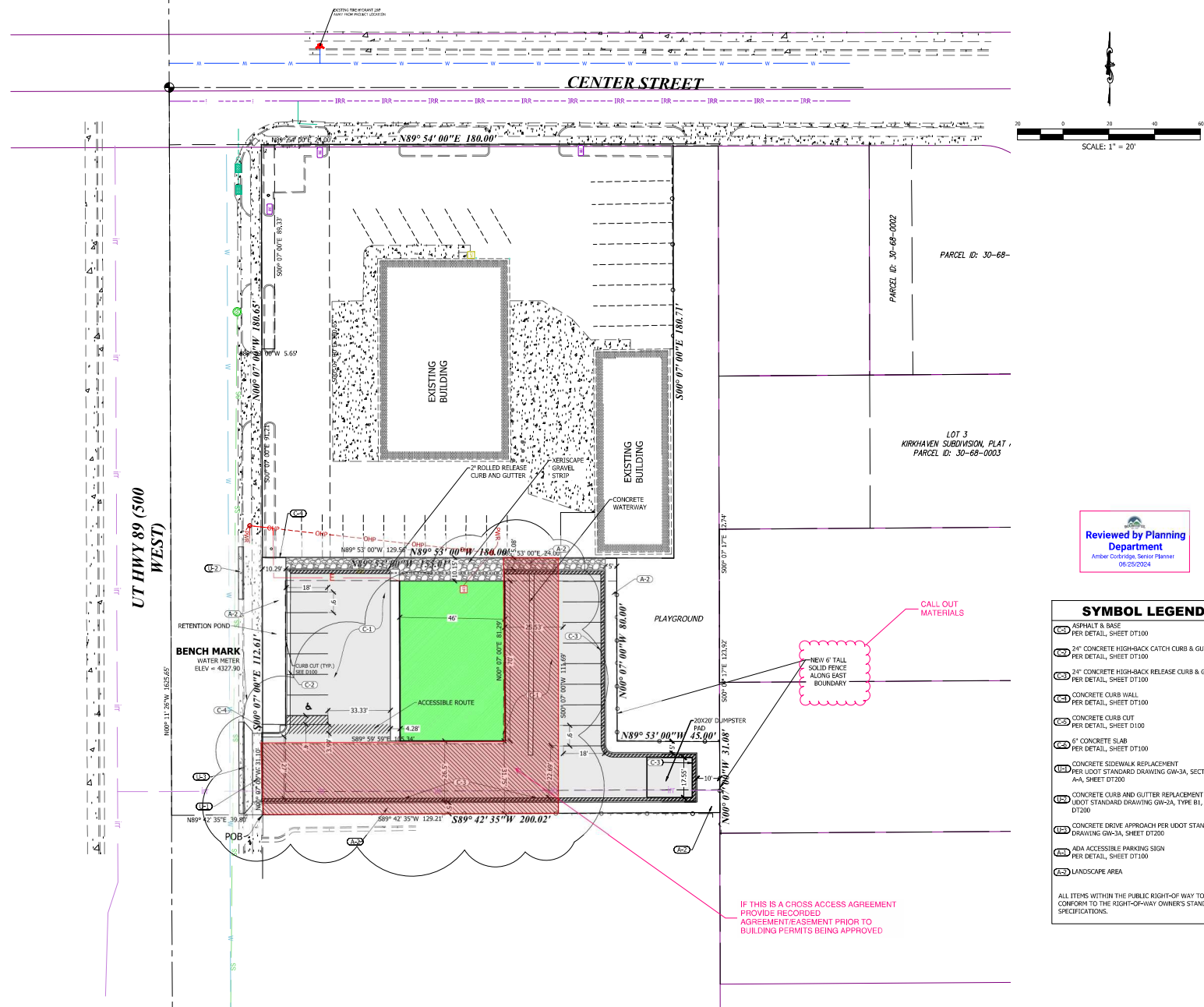
Recommendation

Staff recommends that the Planning Commission review the Preliminary/Final Architectural and Site Plan application for the lube center and forward a positive recommendation to the City Council to approve, subject to:

1. Updating the Planting Plan to either match the Landscape Plan or meet Land Use Code 14-16-109(A)(4).
2. Submit a copy of a recorded access agreement between the property to the north.
3. Meet all department review comments prior to building permit approval.
4. Comply with UDOT requirements for access approval and construction standards in the UDOT right-of-way.
5. Add a COA regarding material changes in the future.

Attachments

1. Final Site Plan
2. Planting Plan
3. Landscape Plan
4. Civil Set
5. Building Elevations
6. UDOT Comments

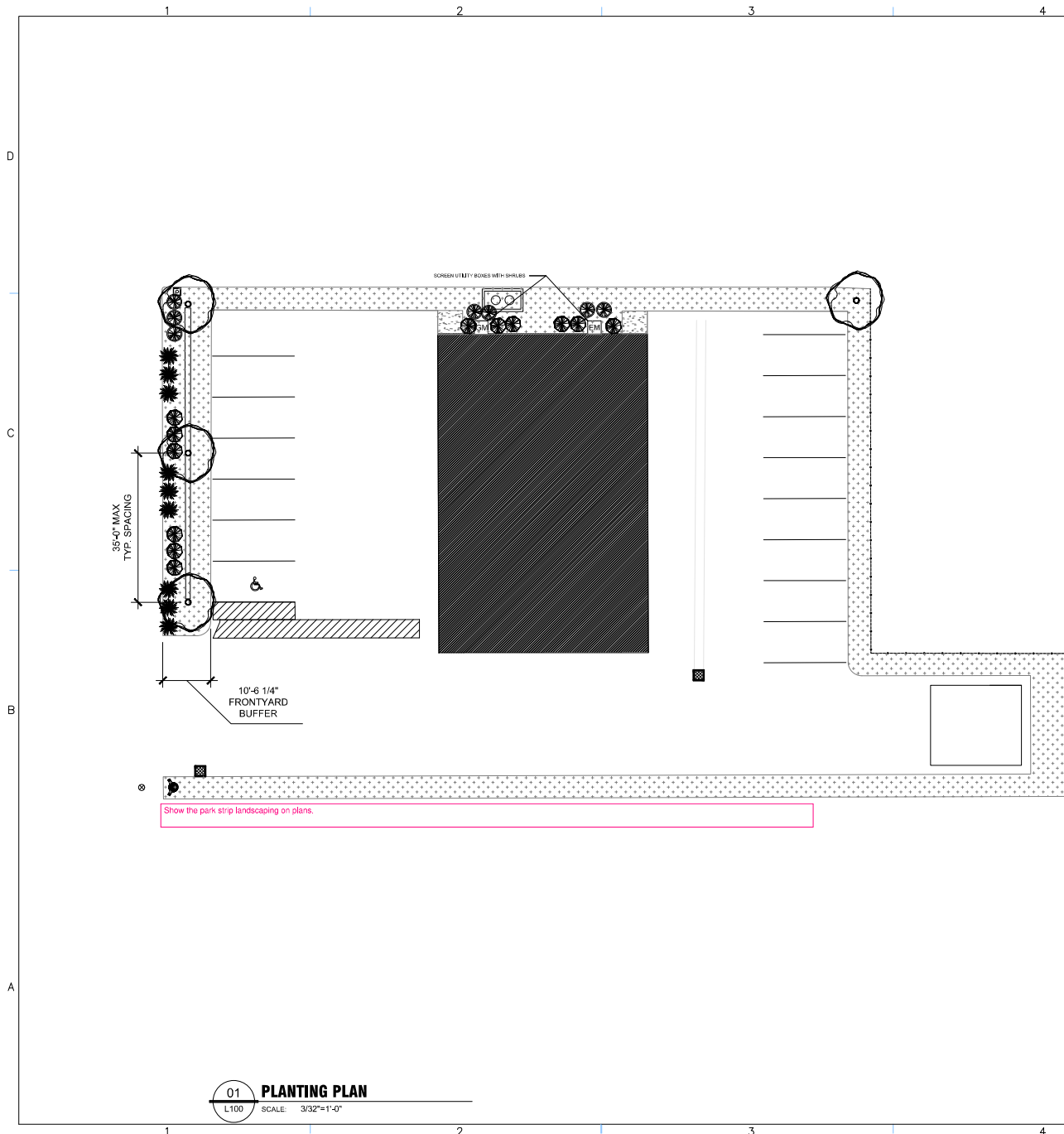


KEC LUBE CENTER

77 SOUTH 500 WEST
TAX PARCEL # 30-25-0125
LOCATED IN THE SW 1/4 OF SECTION 19, T.2N., R.1E., S.1R.&M.
BOUNTIFUL CITY, DAVIS COUNTY, UTAH

#	COMMENT	REVISION DATE
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4:		
5:		
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8:		

DRAWN: MM
APPROVED: STA
PROJECT#: 1608005
Lube Center 1608005
2024-06-11.dwg
C400



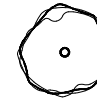
01 PLANTING PLAN
L100 SCALE: 3/32"=1'-0"



GENERAL PLANTING NOTES:

- ALL TREES TO BE PLANTED BY EXCAVATING A HOLE TWICE THE SIZE OF THE ROOT BALL. MIX IN PROPER SOIL ADDITIVES TO REDUCE THE TRANSPLANT IMPACT ON TREE.
- ALL TURF GRASS TO BE PLANTED OVER 4" OF SCREENED TOP SOIL.

PLANTING LEGEND



ACER MIYABI MORTON
"STATE STREET MAPLE"
2" CALIPER
QTY: 4
FRONT SETBACK TREES: 3
OTHER: 1



CALAMAGROSTIS X ACUTIFLORA
FOERSTER'S FEATHER REED GRASS
5 GALLON
QTY: 7



FESTUCA CLAUCA
Blue Fescue
1 GALLON
QTY: 9



L. ANGUSTIFOLIA
ENGLISH LAVENDER
5 GALLON
QTY: 12

TOTAL LANDSCAPED AREA 3,382 SF
1 SHRUB REQ'D PER 200 SF = 17 SHRUBS
TOTAL SHRUBS PROVIDED:
5 GALLON: 19
1 GALLON: 9
TOTAL: 28 SHRUBS



2-3" BROWN CANYON BLONDE
SANDSTONE OR CHARCOAL GRAY
GRAVEL, OVER COMMERCIAL
GRADE WOVEN FABRIC WEED
BARRIER.

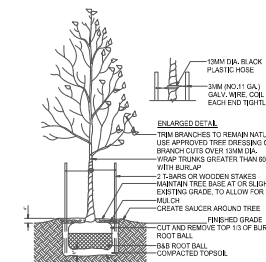
***** 4" PVC SLEEVE FOR IRRIGATION
PIPING

14-16-109 (A)(4) In addition to required front yard trees, each lot or parcel shall include the following:
a. At least one (1) ornamental tree of at least one (1) inch caliper,
and/or one (1) screening tree of at least two (2) inch caliper, for each.
i. Five hundred (500) square feet of required landscaping in developments that are two (2.0) acres or larger, or
i. Seven hundred fifty (750) square feet of required landscaping in all developments that are less than 2.0 acres in size.

GENERAL IRRIGATION NOTES:

- ALL LANDSCAPING TO BE DESIGNED/INSTALLED WITH A DRIP EMITTING SYSTEM AT SHRUBS AND AS NOTED IN TURF AREAS BY LANDSCAPE CONTRACTOR.
- IRRIGATION CONTROLLERS TO BE INSTALLED ON THE FRONT AND REAR OF THE BUILDING(S) AS ANNOTATED ON THE PLANS.
- FOR ALL DRIP IRRIGATION SYSTEMS, A REDUCED PRESSURE BACKFLOW PREVENTIONS ASSEMBLY (RPB) TO BE INSTALLED AT POINT OF CONNECTION.
- EACH DRIP STATION TO IRRIGATE A MAX OF 240 GPH 4 GPM.
- EACH TURF GRASS STATION TO HAVE A MAXIMUM OF 8 SPRINKLERS.
- DRIP EMITTERS TO BE INSTALLED AT EACH TREE.

Reviewed by Planning Department
Amber Corbridge, Senior Planner
06/25/2024



- SPECIFICATIONS:**
1. TOPSOIL, MIN. SEE SPEC.
 2. DO NOT DAMAGE MAIN ROOTS OR DESTROY ROOT BALL WHEN INSTALLING TREE STAKE.
 3. WATER THOROUGHLY AFTER INSTALLATION.
 4. REMOVE TREE BRIMS AND STAKES TWO YEARS AFTER INSTALLATION.
 5. PROVIDE DRAINAGE FOR PLANTING PIT IN IMPERVIOUS SOIL.
 6. ALL TREES MUST BE TAGGED AND APPROVED BY CONSULTANT WITHIN 14 DAYS AFTER TENDER CLOSING.

VALUES A PROFESSIONAL SEAL HEREIN IS REQUIRED AND THE STATE APPLIES THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION. RESOURCES FOR PURPOSES OF IMPLEMENTATION.

GL+D
GALBRAITH LANDSCAPE DESIGN
GL+D
3365 CANYON ESTATES DRIVE
BOUNTIFUL, UT 84010
801.286.8885
JONGALBRAITH@GMAIL.COM

THESE PLANS SHOW ANY DISCREPANCIES BETWEEN THE PRELIMINARY AND FINAL PLANS. THE DESIGNER ASSUMES NO RESPONSIBILITY FOR ANY DISCREPANCIES BETWEEN THE PRELIMINARY AND FINAL PLANS. THE DESIGNER ASSUMES NO RESPONSIBILITY FOR ANY DISCREPANCIES BETWEEN THE PRELIMINARY AND FINAL PLANS.

PROJECT: **BOUNTIFUL BIG-O**
BOUNTIFUL, UT

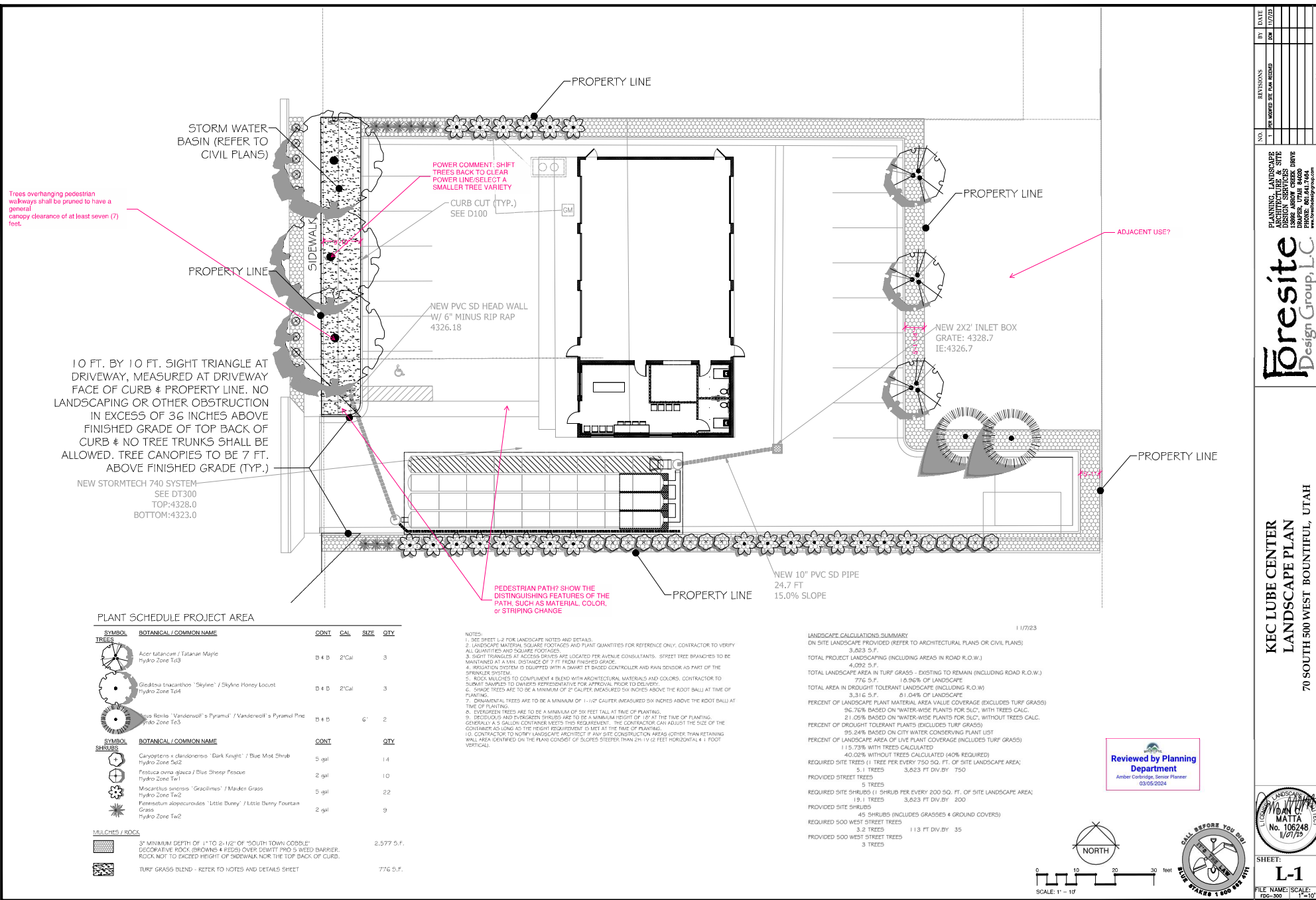
REVISIONS:

TITLE: **LANDSCAPE PLAN**

SHEET: **L100**

ISSUE DATE: 06/17/2024

SITE PLAN APPROVAL



KEC LUBE CENTER

77 SOUTH 500 WEST
TAX PARCEL # 30-25-0125
LOCATED IN THE SW 1/4 OF SECTION 19, T.2N., R.1E., S.L.B.&M.
BOUNTIFUL CITY, DAVIS COUNTY, UTAH

VICINITY MAP



DRAWING INDEX

C100	COVER AND INDEX
C101	NOTES & LEGEND
C200	TOPOGRAPHIC SURVEY
C300	DEMOLITION PLAN
C400	SITE PLAN
C401	LANDSCAPING PLAN
C500	GRADING/UTILITY PLAN
C800	UDOT EXHIBIT
DT100	SITE DETAILS
DT200	UDOT DETAILS
DT300	STORMTECH DETAILS
EC100	EROSION CONTROL PLAN
TOTAL SHEETS	12

UDOT NOTES

1. All construction within the UDOT right-of-way shall conform to the most current UDOT standard (including supplemental) drawings and specifications.
2. The contractor is to obtain an encroachment permit from the applicable UDOT Region Permit office prior to commencing work within UDOT right-of-way. Working hour limitations will be listed in the limitations section of the encroachment permit.
3. UDOT reserves the right, at its option, to install a raised median island or restrict the access to a right-in or right-out at any time.
4. Owner, developer, and contractor are responsible for any damages directly or indirectly within the UDOT right-of-way as a result of development activities.
5. Owner, developer, and/or contractor is required to hire an independent company for all testing within the UDOT right-of-way.
6. All signs installed on the UDOT right-of-way must be high intensity grade (Type XI sheeting) with a B3 slip base. Install all signs per UDOT SN series Standard Drawings.
7. Comply with the requirements of Utah Code 17-23-14 (Disturbed Corners - County surveyor to be notified - Coordination with certain state agencies).

GENERAL NOTES

- 1) ALL WORK WITHIN A PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE RIGHT-OF-WAY OWNER'S STANDARDS & SPECIFICATIONS.
- 2) ALL UTILITY WORK SHALL CONFORM TO THE UTILITY OWNER'S STANDARDS & SPECIFICATIONS.
- 3) THESE PLANS DO NOT INCLUDE DESIGN OF DRY UTILITIES. THESE PLANS MAY CALL FOR RELOCATION, AND/OR REMOVAL AND/OR CONSTRUCTION OF DRY UTILITIES, BUT ARE NOT OFFICIAL DRAWINGS FOR SUCH. DESIGN AND COORDINATION OF DRY UTILITIES IS BY OTHERS.
- 4) THE CONTRACTOR SHALL COORDINATE AND OBTAIN ANY PERMITS REQUIRED FOR THE WORK SHOWN HEREON.
- 5) THE LOCATION AND ELEVATIONS OF UNDERGROUND UTILITIES SHOWN ON THESE PLANS IS A BEST ESTIMATE BASED ON UTILITY COMPANY RECORDS, BLUESTAKES, AND FIELD MEASUREMENTS OF READILY OBSERVABLE ABOVE-GROUND FEATURES. AS SUCH, THIS INFORMATION MAY NOT BE COMPLETE, UP-TO-DATE, OR ACCURATE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO STOP WORK AND NOTIFY THE ENGINEER IF CONFLICTING INFORMATION IS FOUND IN THE FIELD.
- 6) THE CONTRACTOR IS TO FIELD VERIFY THE LOCATION AND ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES PRIOR TO STAKING AND CONSTRUCTION.
- 7) CALL BLUESTAKES AT LEAST 48 HOURS PRIOR TO DIGGING. DO NOT PROCEED UNTIL BLUESTAKES ARE MARKED.
- 8) IT SHALL BE THE CONTRACTOR'S AND SUBCONTRACTOR'S RESPONSIBILITY TO MEET ALL APPLICABLE HEALTH AND SAFETY REGULATIONS, AND SHALL ASSURE SOLE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING CONSTRUCTION OF THIS PROJECT, SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK, AND THE PUBLIC IS PROTECTED.


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COVER		REV.	BY	DATE
DRAWN:	MM	1	CSA	05/08/24
APPROVED:	STA			
PROJECT:	1608005			
DWG: Lube Center 1608005 2024-06-11.dwg				

GENERAL NOTES	UTILITY NOTES	GRADING NOTES	LEGEND	ABBREVIATIONS
<div>1. ALL IMPROVEMENTS SHALL COMPLY WITH THE STANDARDS AND REGULATIONS OF THE LOCAL GOVERNING MUNICIPALITY. CONTACT THE PUBLIC WORKS OFFICE BEFORE BEGINNING.</div> <div>2. CONTRACTOR TO FIELD VERIFY LOCATION, SIZE, AND AVAILABILITY OF EXISTING UTILITIES. UTILITIES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE. SEE UTILITY NOTE 3.</div> <div>3. ALL DIMENSIONS ARE IN FOOT UNITS AND ARE TO THE TOP BACK OF CURB UNLESS SHOWN OR NOTED OTHERWISE.</div> <div>4. PROVIDE HANDICAP RAMPS AT ENDS OF WALKWAYS, END 0.1' ABOVE FLOWLINE OF CURB.</div> <div>5. CURB AND GUTTER SHALL BE AS PER APWA STD DWG NO 205 TYPE A.</div> <div>6. UTILITY INFORMATION INDICATED ON DRAWING IS BASED UPON VISUAL OBSERVATION OR INFORMATION FURNISHED BY MUNICIPAL AUTHORITIES WHICH MAY NOT BE VALID. LATERAL LOCATIONS AND ELEVATIONS ARE ASSUMED. SEE UTILITY NOTE 3.</div> <div>7. ALL GRADING SHALL BE DONE UNDER THE SUPERVISION OF A QUALIFIED SOILS ENGINEER WHO SHALL VERIFY THAT ALL FILL HAS BEEN PLACED IN ACCORDANCE WITH PROVISIONS IN CURRENT INTERNATIONAL BUILDING CODE.</div> <div>8. COMPACTION TEST REPORTS SHALL BE MADE AVAILABLE TO THE ENGINEER WITHIN 24 HOURS OF A REQUEST. FINAL REPORTS AS SPECIFIED IN CURRENT INTERNATIONAL BUILDING CODE SHALL BE SUBMITTED TO THE ENGINEER WITHIN TEN DAYS AFTER COMPLETION OF GRADING.</div> <div>9. ALL STORM DRAIN PIPE SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS AND THE LOCAL GOVERNING MUNICIPALITY'S STANDARDS AND SPECIFICATIONS.</div> <div>10. STORM DRAIN PIPE WITHIN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE RIGHT-OF-WAY OWNERS SPECIFICATIONS. PRIVATE STORM DRAIN PIPE OPTIONS SHALL CONSENT IF THE FOLLOWING MATERIALS.<div><div>1. PVC PIPE, ASTM D3034, SDR 35, HELL & SPOGOT TYPE.</div><div>2. RCP PIPE, C-3, BELL & SPOGOT TYPE.</div><div>3. HIGH DENSITY CORRUGATED POLYETHYLENE SMOOTH INTERIOR PIPE, ASTM D3350 WITH WATERGIGHT JOINTS.</div></div></div> <div>11. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CHECK CONDITIONS AT THE SITE BEFORE STARTING WORK AND SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES.</div> <div>12. TYPICAL DETAILS SHALL APPLY IN GENERAL. CONSTRUCTION UNLESS SPECIFICALLY DETAILLED. WHERE NO DETAILS ARE GIVEN, CONSTRUCTION WILL BE AS FOR SIMILAR WORK. DO NOT SCALE DRAWINGS.</div> <div>13. ANY OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH ANY WORK INVOLVED.</div> <div>14. PIPE BEDDING SHALL BE 3/8" MAXIMUM AGGREGATE. USE 3/4" MAXIMUM SIZE ROAD BASE FOR BACKFILL MATERIAL. COMPACT TO 95% STANDARD PROCTOR DENSITY. MAXIMUM LIFT 8 INCHES.</div> <div>15. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PUBLIC AND OSHA STANDARDS.</div> <div>16. ALL WORK SHALL COMPLY WITH THE AMERICAN PUBLIC WORKS ASSOCIATION UTAH CHAPTER (APWA) MANUAL OF STANDARD SPECIFICATIONS AND THE UTAH STANDARD SPECIFICATIONS SUPPLEMENTS AND AMENDMENTS AND THE MANUAL OF STANDARD PLANS 2007 EDITION. SAID STANDARD SPECIFICATIONS AND PLANS SHALL BE THE REQUIREMENTS.</div> <div>17. IT IS INTENDED THAT THESE PLANS AND SPECIFICATIONS REQUIRE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTAINED AND THE WORK TO BE COMPLETED IN ACCORDANCE WITH THEIR TRUE INTENT AND PURPOSE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY REGARDING ANY DISCREPANCIES OR AMBIGUITIES WHICH EXIST IN THE PLANS OR SPECIFICATIONS. THE ENGINEER'S INTERPRETATION THEREOF SHALL BE CONCLUSIVE. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT PRIOR WRITING AUTHORITY FROM THE OWNER AND/OR ENGINEER.</div> <div>18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT. ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S STANDARD SPECIFICATIONS. ALL TESTING AND INSPECTION SHALL BE PAID FOR BY THE OWNER. ALL RE-TESTING AND/OR REINSPECTION SHALL BE PAID FOR BY THE CONTRACTOR.</div> <div>19. THE CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZE AS-BUILT RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL MECHANICAL, ELECTRICAL AND INSTRUMENTATION EQUIPMENT, PIPING AND CONDUITS, STRUCTURES AND OTHER FACILITIES. THE AS-BUILTS OF THE ELECTRICAL SYSTEM SHALL INCLUDE THE STREET LIGHT LAYOUT PLAN SHOWING LOCATION OF LIGHTS, CONDUITS, CONDUCTORS, POINTS OF CONNECTIONS TO SERVICES, BUILDINGS, AND WIRE SIZES. AS-BUILT RECORD DRAWINGS SHALL REFLECT CHANGE ORDERS, ACCOMMODATIONS, AND ADJUSTMENTS TO ALL IMPROVEMENTS CONSTRUCTED, WHERE NECESSARY. SUPPLEMENTAL DRAWINGS SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR.</div> <div>20. PRIOR TO ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL DELIVER TO ENGINEER, ONE SET OF NEATLY MARKED AS-BUILT RECORD DRAWINGS SHOWING THE INFORMATION REQUIRED ABOVE. AS-BUILT RECORD DRAWINGS SHALL BE REVIEWED AND THE COMPLETE AS-BUILT RECORD DRAWING SET SHALL BE CURRENT WITH ALL CHANGES AND NOTATIONS. REVISIONS SHALL BE A PRECONDITION TO THE FINAL PROGRESS PAYMENT APPROVAL AND/OR FINAL ACCEPTANCE.</div>	<div>1. ALL SERVICE LATERALS SHALL BE EXTENDED 2 FEET PAST THE 10 FOOT P.U.E. INTO ADJACENT PROPERTY AND COVER H&A ENTTELUS, INC. 48 HOURS BEFORE BEGINNING.</div> <div>2. ALL CONSTRUCTION SHALL COMPLY WITH LOCAL GOVERNING MUNICIPALITY DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.</div> <div>3. LOCATIONS OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE LOCATIONS. CONTRACTOR IS TO FIELD VERIFY CONNECTION POINTS WITH EXISTING UTILITIES, INCLUDING LOCATIONS AND INVERT ELEVATIONS OF ALL EXISTING STRUCTURES OR PIPES, BEFORE STAKING OR CONSTRUCTING ANY NEW UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO EXISTING UTILITIES AND UTILITY STRUCTURE THAT ARE TO REMAIN.</div> <div>4. CONTRACTOR IS RESPONSIBLE TO EXPOSE ALL UTILITY SERVICES STUBBED INTO PROJECT PROPERTY AND COVER H&A ENTTELUS, INC. 48 HOURS BEFORE BEGINNING. NOTICE 50 H&A ENTTELUS CAN VERIFY DEPTHS AND INVERT ELEVATIONS TO DETERMINE IF CONFLICTS EXIST. ALSO ANY EXISTING UTILITIES THAT RUN ACROSS PROJECT PROPERTY WHICH MAY CAUSE POTENTIAL CONFLICT NEED TO BE EXPOSED AND LOCATED BOTH HORIZONTALLY AND VERTICALLY. CONTRACTOR PROCEEDS AT OWN RISK IF H&A ENTTELUS IS NOT NOTIFIED TO FIELD VERIFY THE ABOVE MENTIONED CONDITIONS.</div> <div>5. CONTRACTOR IS TO COORDINATE ALL UTILITIES WITH MECHANICAL DRAWINGS WHERE APPLICABLE.</div> <div>6. NO GROUNDWATER OR DEBRIS TO BE ALLOWED TO ENTER THE NEW PIPE DURING CONSTRUCTION. THE OPEN END OF ALL PIPES IS TO BE COVERED AND EFFECTIVELY SEALED AT THE END OF EACH DAYS WORK.</div> <div>7. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSTALL PIPE OF ADEQUATE CLASSIFICATION WITH SUFFICIENT BEDDING TO MEET ALL REQUIREMENTS AND RECOMMENDATIONS FOR 1+20 LOAD REQUIREMENTS.</div> <div>8. ALL NEW SANITARY SEWER CONSTRUCTION TO BE DONE IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS & SPECIFICATIONS.</div> <div>9. ALL SEWER LINES AND LATERALS ARE TO BE SDR 35 PVC PIPE.</div> <div>10. SEWER LATERALS WILL BE INSTALLED AT A UNIFORM SLOPE OF NOT LESS THAN 2% GRADE AND THEY SHALL HAVE A MINIMUM OF 4 FEET OF COVER, UNLESS OTHERWISE NOTED.</div> <div>11. ALL NEW CULINARY AND WASTE WATER CONSTRUCTION TO BE DONE IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS & SPECIFICATIONS.</div> <div>12. WATER LINES TO BE PVC C-90. WATER LINES SHALL BE A MINIMUM OF 10 HORIZONTAL FROM SEWER MAINS. CROSSINGS SHALL MEET STATE HEALTH STANDARDS. MECHANICAL JOINTS REQUIRED WHEN LESS THAN 18" VERTICAL OR 10' HORIZONTAL SEPARATION FROM SEWER LINES.)</div> <div>13. ALL WATER LINES SHALL BE 8" MINIMUM SIZE AND SERVICE LATERALS SHALL BE 1+1/2" MINIMUM UNLESS OTHERWISE NOTED.</div> <div>14. WATER SERVICE LATERALS TO INCLUDE ALL BRASS SADDLE, CORP STOP LATERAL, DOUBLE CHECK VALVE AND BACKFLOW PREVENTION DEVICE, AND SHUTOFF VALVE IN BOX NEAR BUILDING EDGE.</div> <div>15. ALL WATER LINES SHALL BE A MINIMUM 4" BELOW FINISH GROUND TO TOP OF PIPE, ALL VALVE BOXES AND MANHOLES SHALL BE RAISED OR LOWERED TO FINISH GRADE AND SHALL INCLUDE A CONCRETE COLLAR IN PAVED AREAS.</div> <div>16. CONTRACTOR TO NOTIFY PUBLIC UTILITIES FOR CHLORINE TEST PRIOR TO FLUSHING LINES. CHLORINE LEFT IN PIPE 24 HOURS MINIMUM WITH 25 PPM RESIDUAL. ALL TURNING OF MAINLINE VALVES, CHLORINATION, FLUSHING, PRESSURE TESTING, BACTERIA TESTING, ETC. TO BE COORDINATED WITH LOCAL GOVERNING MUNICIPALITY. ALL TESTS TO BE IN ACCORDANCE WITH ANWA STANDARDS.</div> <div>17. BOTTOM FLANGE OF FIRE HYDRANTS TO BE SET TO APPROXIMATELY 4" INCHES ABOVE BACK OF CURB ELEVATION. HYDRANTS TO INCLUDE TEE, 6" LINE VALVE, AND HYDRANT COMPLETE TO MEET CITY STANDARDS.</div> <div>18. ALL NEW STORM DRAIN/LAND DRAIN CONSTRUCTION TO BE DONE IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS & SPECIFICATIONS.</div> <div>19. ALL STORM DRAIN CONVEYANCE PIPING TO BE RCP - CLASS 3 OR EQUAL, UNLESS OTHERWISE NOTED.</div> <div>20. CONTRACTOR IS TO SUBMIT SITE PLANS/SUBDIVISION PLAT TO DOMINION ENERGY GAS FOR DESIGN OF GAS SERVICE TO BUILDINGS/LOTS. CONTRACTOR TO COORDINATE WITH DOMINION ENERGY GAS FOR CONTRACTOR LIMITS OF WORK VERSUS DOMINION ENERGY GAS LIMITS.</div> <div>21. ALL GAS LINE TAPS TO BE HDPE WITH COPPER TRACER WIRE AND DETECTA TAPE. TERMINATE TRACER WIRE AT APPROVED LOCATIONS.</div> <div>22. ALL GAS LINE TAPS, VALVES AND CAPS TO BE FUSED USING ELECTRO-FUSION TECHNOLOGY.</div> <div>23. ALL ELECTRICAL CONDUITS/LINES TO BE PVC SCH 40 OR BETTER.</div> <div>24. ALL PHONE AND TV CONDUITS TO BE PVC SCH 40 OR BETTER.</div> <div>25. CONTRACTOR IS TO SUBMIT SITE PLANS/SUBDIVISION PLAT TO COMCAST FOR DESIGN OF CABLE TV SERVICE TO BUILDINGS/LOTS. CONTRACTOR TO COORDINATE WITH COMCAST FOR CONTRACTOR LIMITS OF WORK VERSUS COMCAST LIMITS.</div> <div>26. CONTRACTOR IS TO COORDINATE LOCATIONS OF NEW TELEPHONE SERVICE TO NEW BUILDINGS OR LOTS WITH CENTURYLINK. A PVC CONDUIT, FLYWOOD BACKBOARD, AND GROUND WIRE IS REQUIRED FOR SERVICE THROUGH PROPERTY. COORDINATE SIZES AND LOCATION WITH CENTURYLINK.</div> <div>27. ALL UTILITIES ARE TO BE INSTALLED IN ACCORDANCE WITH THE CORRESPONDING AGENCY/DISTRICT STANDARDS AND SPECIFICATIONS:<div><div>WATER - BOUNTIFUL CITY</div><div>SEWER - BOUNTIFUL CITY</div><div>IRIGATION - OWNER</div><div>ELECTRICAL - CENTURYLINK</div><div>TELEPHONE - CENTURYLINK</div><div>NATURAL GAS - DOMINION ENERGY</div></div></div>	<div>1. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING IT WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM TEST D-1557 EXCEPT UNDER BUILDING FOUNDATION WHERE IT SHALL BE 95% MIN. OF MAXIMUM DENSITY. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 2% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED REGISTERED SOILS ENGINEER, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED, HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.</div> <div>2. THE CONTRACTOR IS TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR CONSTRUCTION OF THE PROJECT. SPECIFIC DETAILS SHOWN SHALL BE USED IN COMBINATION WITH OTHER ACCEPTED LOCAL PRACTICES.</div> <div>3. EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF CONTRACTORS FAILURE TO VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSURED INCLUDED IN THE CONTRACT.</div> <div>4. IF AT ANY TIME DURING CONSTRUCTION ANY UNFAVORABLE GEOLOGICAL CONDITIONS ARE ENCOUNTERED, WORK IN THAT AREA WILL STOP UNTIL APPROVED CORRECTIVE MEASURES ARE OBTAINED FROM THE ENGINEER.</div> <div>5. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING HIS OWN ESTIMATE OF EARTHWORK QUANTITIES.</div> <div>6. WHERE NEW CURB AND GUTTER IS BEING CONSTRUCTED ADJACENT TO EXISTING ASPHALT OF CONCRETE PAVEMENT, THE FOLLOWING SHALL APPLY: PRIOR TO PLACEMENT OF ANY CONCRETE THE CONTRACTOR SHALL HAVE A LICENSED SURVEYOR VERIFY THE GRADE AND CROSS SLOPE OF THE CURB AND GUTTER FORMS. THE CONTRACTOR SHALL SUBMIT THE SLOPE AND GRADES TO THE ENGINEER FOR APPROVAL. PRIOR TO THE PLACEMENT OF CONCRETE, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY SECTION WHICH DOES NOT CONFORM TO THE DESIGN OR TYPICAL CROSS SECTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CURB AND GUTTER FORMS WITHOUT THE APPROVAL OF THE ENGINEER.</div>	<div><div><div>SECTION CORNER</div><div>MONUMENT</div><div>EXISTING SPOT ELEVATION</div><div>PROPOSED SPOT ELEVATION</div><div>DOWNWARD GRADE</div><div>EXISTING INDEX CONTOUR</div><div>EXISTING MINOR CONTOUR</div><div>PROPOSED CONTOUR</div><div>LOT OR BOUNDARY LINE</div><div>PUBLIC UTILITY EASEMENT</div><div>BUILDABLE AREA SETBACK</div><div>CENTER LINE OF ROAD</div><div>EXISTING FENCE</div><div>EXISTING BUILDING</div><div>PROPOSED BUILDING</div><div>EXISTING ASPHALT</div><div>PROPOSED ASPHALT</div><div>EXISTING CONCRETE</div><div>PROPOSED CONCRETE</div><div>EXISTING CURB & GUTTER</div><div>PROPOSED CURB & GUTTER</div><div>ADA PARKING</div><div>STREET LIGHT</div><div>POWER POLE</div><div>TELEPHONE POLE</div><div>UTILITY POLE</div><div>STREET WALL</div><div>ROCK WALL</div></div><div><div>EXISTING WATER LINE</div><div>PROPOSED WATER LINE</div><div>EXISTING FIRE PROTECTION</div><div>PROPOSED FIRE PROTECTION</div><div>WATER MANHOLE</div><div>WATER METER</div><div>FIRE HYDRANT</div><div>BLOWOFF</div><div>VALVE</div><div>TEE</div><div>ELBOW</div><div>REDUCER</div><div>THRUST BLOCK</div><div>EXISTING IRRIGATION LINE</div><div>PROPOSED IRRIGATION LINE</div><div>IRRIGATION MANHOLE</div><div>IRRIGATION METER</div><div>BLOWOFF</div><div>VALVE</div><div>TEE</div><div>ELBOW</div><div>REDUCER</div><div>THRUST BLOCK</div><div>EXISTING SEWER LINE</div><div>PROPOSED SEWER LINE</div><div>SEWER MANHOLE</div><div>SEWER INLET</div><div>EXISTING LAND DRAIN</div><div>PROPOSED LAND DRAIN</div><div>LAND DRAIN MANHOLE</div><div>MEASURE DOWN</div><div>EXISTING STORM DRAIN</div><div>PROPOSED STORM DRAIN</div><div>STORM DRAIN MANHOLE</div><div>CATCH BASIN / CLEANOUT</div><div>CURB INLET</div><div>EXISTING FIBER OPTIC</div><div>PROPOSED FIBER OPTIC</div><div>EXISTING NATURAL GAS</div><div>PROPOSED NATURAL GAS</div><div>EXISTING POWER</div><div>PROPOSED OVERHEAD POWER</div><div>EXISTING UNDERGROUND POWER</div><div>PROPOSED UNDERGROUND POWER</div><div>EXISTING TELEPHONE</div><div>PROPOSED TELEPHONE</div></div></div>	<div><div>DIAMETER</div><div>DEGREES</div><div>MINUTES, SECONDS</div><div>ALGEBRAIC DIFFERENCE</div><div>AMERICAN DISABILITIES ACT</div><div>CORRUGATED BLACK PLASTIC PIPE</div><div>ARCHITECTURAL</div><div>BOUNDARY LINE AGREEMENT</div><div>BUILDING</div><div>BENCHMARK</div><div>BOUNDARY</div><div>BACK OF WALK</div><div>BEARING</div><div>BUTTERFLY VALVE</div><div>BEGIN VERTICAL CURVE</div><div>BEGIN VERTICAL CURVE ELEVATION</div><div>BEGIN VERTICAL CURVE STATION</div><div>CURB AND GUTTER</div><div>CATCH BASIN</div><div>CHORD</div><div>CHORD BEARING</div><div>CAST IRON</div><div>CAST IN PLACE</div><div>CENTERLINE</div><div>CORRUGATED METAL PIPE</div><div>CLEANOUT</div><div>COMMUNICATIONS</div><div>CONCRETE</div><div>CONSTRUCT</div><div>CULINARY</div><div>CULINARY WATER</div><div>CULINARY WASTE</div><div>DEMOLITION</div><div>DUCTILE IRON</div><div>DIAMETER</div><div>DIST. DISTANCE</div><div>EAST ELECTRICITY, ELECTRICAL</div><div>EASEMENT</div><div>EXISTING GRADE</div><div>ELBOW</div><div>ELEVATION</div><div>EDGE OF ASPHALT</div><div>END VERTICAL CURVE</div><div>END VERTICAL CURVE ELEVATION</div><div>END VERTICAL CURVE STATION</div><div>EXISTING</div><div>FINISH FLOOR ELEVATION</div><div>FINISH GRADE</div><div>FIRE HYDRANT</div><div>FLOWLINE</div><div>FIRE PROTECTION</div><div>FOOTING</div><div>GAS, NATURAL GAS</div><div>GRADE BREAK</div><div>GATE VALVE</div><div>HIGH DENSITY POLYETHYLENE PIPE</div><div>HIGH POINT</div><div>HIGH POINT ELEVATION</div><div>HIGH POINT STATION</div><div>INSIDE DIAMETER</div><div>INVERT</div><div>IRIGATION</div><div>IRRIGATION MANHOLE</div><div>RADIUS OF CURVATURE</div><div>LENGTH</div><div>LAT. LATERAL SERVICE</div><div>LAND DRAIN</div><div>LAND DRAIN MANHOLE</div><div>LAND DRAIN</div><div>LOW POINT</div><div>LOW POINT ELEVATION</div><div>LOW POINT STATION</div><div>MEASURE DOWN</div><div>MECH. MECHANICAL</div><div>MONUMENT</div><div>NORTH</div><div>NORTH EAST</div><div>NATURAL GRADE</div><div>NON-RADIAL</div><div>NW</div><div>ON CENTER</div><div>OUTSIDE DIAMETER</div><div>OVERHEAD POWER</div><div>POINT OF CURVATURE</div><div>PORTLAND CONCRETE CEMENT</div><div>POINT OF INFLECTION</div><div>PROPERTY LINE</div><div>PROP. PROPERTY</div><div>PUBLIC UTILITY AGENCY</div><div>PUBLIC UTILITY EASEMENT</div><div>PURCHASE PUBLIC UTILITY EASEMENT & DRAINAGE EASEMENT</div><div>POINT OF VERTICAL INFLECTION</div><div>RADIUS</div><div>REBAR & CAP</div><div>ROADWAY CENTERLINE</div><div>REINFORCED CONCRETE PIPE</div><div>RIGHT OF WAY</div><div>SOUTH</div><div>STORM DRAIN</div><div>STORM DRAIN CATCH BASIN</div><div>STORM DRAIN CLEANOUT</div><div>STORM DRAIN MANHOLE</div><div>SOUTH EAST</div><div>SECTION</div><div>SECONDARY</div><div>SECTION</div><div>SALT LINE BASE & MERIDIAN</div><div>SPECIFICATION</div><div>SPECIFICATIONS</div><div>STEEL PIPE</div><div>SANITARY SEWER</div><div>SANITARY SEWER CLEANOUT</div><div>SANITARY SEWER MANHOLE</div><div>STANDARD</div><div>STANDARD</div><div>SECONDARY WATER</div><div>SOUTHWEST</div><div>SECONDARY WATERLINE</div><div>TANGENT</div><div>THRUST BLOCK</div><div>TOP BACK OF CURB</div><div>TOP BACK OF WALK</div><div>TEL. TELEPHONE</div><div>TOP OF CURB/WALK</div><div>TOP OF ASPHALT</div><div>TOP OF CONCRETE</div><div>TOE OF SLOPE OR WALL</div><div>TOP OF GATE</div><div>TOP OF WALL</div><div>UTILITY</div><div>UNDERDRAIN</div><div>UNDERGROUND POWER</div><div>VERTICAL CURVE</div><div>WEST WATER</div><div>SECONDARY WATER</div><div>WATERLINE</div><div>WATER METER</div><div>WORK POINT</div></div>
<div><div><div>SEQUENCE OF CONSTRUCTION</div><div>1. CONSTRUCTION DIT IS TO BE CONSTRUCTED AT TIME OF ENTRY TO SITE.</div><div>2. CLEAR AND GRUB AREAS FOR SEDIMENT MEASURES.</div><div>3. INSTALL SILT FENCES.</div><div>4. COMPLETE CLEARING OF SITE AND BEGIN ROUGH GRADING.</div><div>5. FILL AREAS SHALL BE FILLED IN 12 INCH MAXIMUM LIFTS AND COMPACTED TO AT LEAST 95% MAXIMUM DENSITY.</div><div>6. DRAINAGE WILL BE CONTROLLED AND DRAIN SLOPED SO AS TO DIRECT RUNOFF TO SEDIMENT CONTROLLED INLETS.</div><div>7. INSTALL REMAINDER OF STORM DRAIN.</div><div>8. INSTALL UTILITY LINES, WATER, ETC.</div><div>9. INSTALL CURBS, WALKS, ETC., AND STABILIZE ALL DISTURBED AREAS.</div><div>10. INSTALL BASE COURSE.</div><div>11. REMOVE SEDIMENT CONTROL MEASURES, CLEAN OUT TEMPORARY SEDIMENTATION BASINS AND REGRADE, CLEAN OUT SEDIMENT TRAPS AND CONVERT THEM TO STORM WATER MANAGEMENT STRUCTURES.</div><div>12. PAVE SITE.</div><div>13. OWNER TO BE RESPONSIBLE TO CHECK CLEAN OUT INLET BOXES FOR SEDIMENT AND OIL AND CLEAN AS NECESSARY</div></div><div><div>Know what's below.</div><div>Call before you dig.</div><div><div>BLUE STAKES OF UTAH</div><div>UTILITY NOTIFICATION CENTER, INC.</div><div>www.bluestakes.org</div><div>1-800-662-4111</div></div></div></div>				

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Woods Cross, UT 84010
Phone 801.298.2236
www.Entellus.com


Entellus


SCOTT T. SCOTT
No. 180586
STATE OF UTAH

KEC LUBE CENTER

77 SOUTH 500 WEST
TAX PARCEL 19-05-013
LOCATED IN THE SW 1/4 OF SECTION 19, T.2N., R.1E., S.1&2 R.4M.
BOUNTIFUL CITY, DAVIS COUNTY, UTAH

DATE	DATE	DATE	DATE	DATE	DATE	DATE	DATE	DATE	DATE
REV 1	REV 2	REV 3	REV 4	REV 5	REV 6	REV 7	REV 8	REV 9	REV 10
DATE	DATE	DATE	DATE	DATE	DATE	DATE	DATE	DATE	DATE

APPROVED: STA

PROJECT: 180586

DATE: 2024-06-11.dwg

Drawn: SR

Checked: STA

Notes & Legend



SCALE: 1" = 10'

TOPOGRAPHIC PLAN
THIS DRAWING IS FOR TOPOGRAPHICAL INFORMATION ONLY. ALL BOUNDARIES AND EASEMENTS ARE APPROXIMATE AND ARE BASED SOLELY ON THE INFORMATION AVAILABLE ON THE SUBDIVISION PLAT OR OTHERWISE PROVIDED TO THE SURVEYOR.

LEGEND	
PROPERTY LINE	-----
ADJACENT PROPERTY	-----
ROAD CENTERLINE	-----
EASEMENT LINE	-----
EDGE OF PAVEMENT	-----
CURB, GUTTER, SIDEWALK	-----
CHAIN LINK FENCE LINE	-----

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Entellus

Surveyor
Kirkham
Cunningham
No. 912247
State of Utah

Client: _____
Contact: Kery Coleman
Phone #: _____
Address: _____
Email: _____

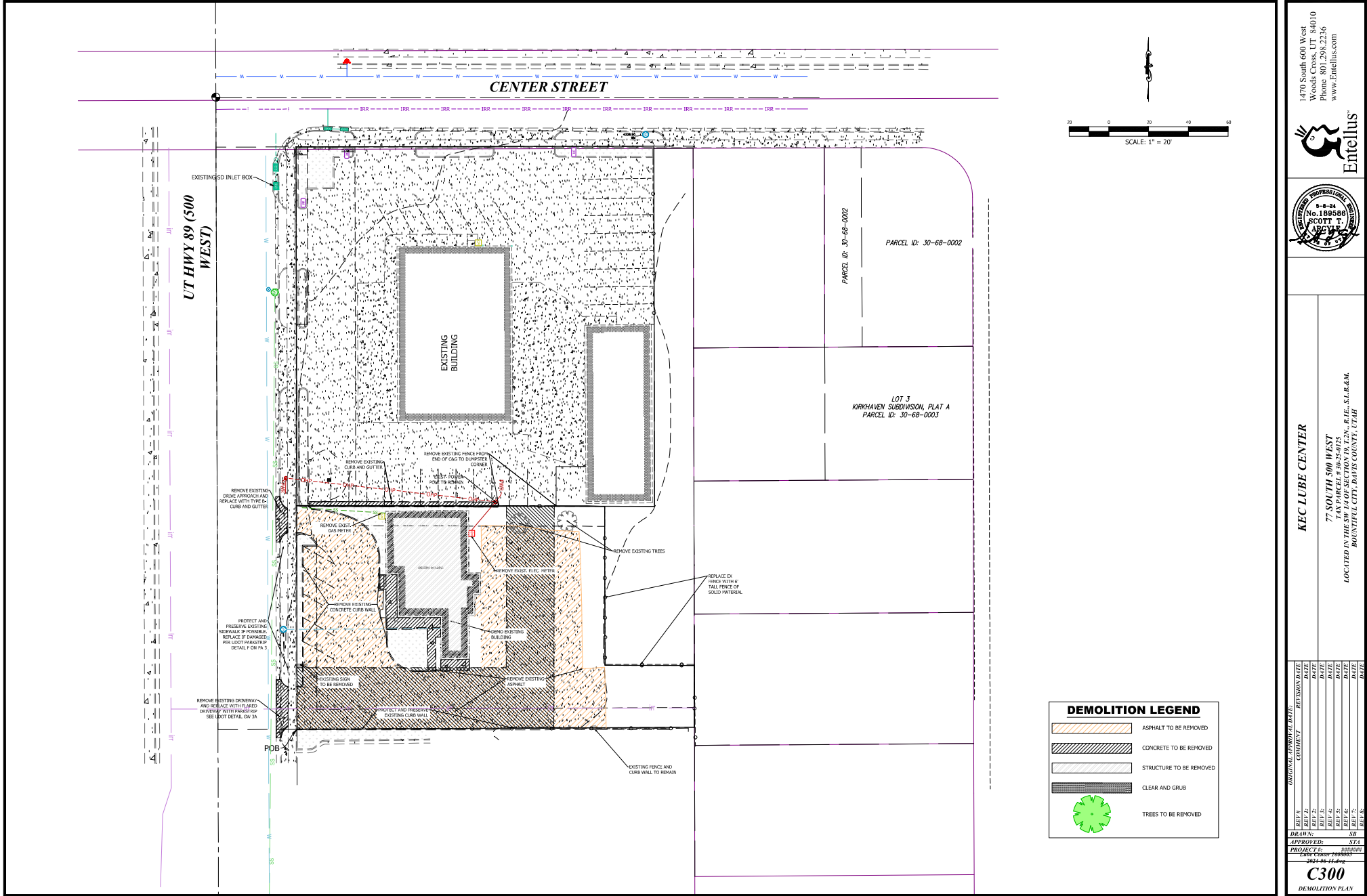
COLEMAN KEC PROPERTIES USED PARKING LOT

75 SOUTH 500 WEST
TAX PARCELS 30-25-0125
LOCATED IN THE SW 1/4 OF SECTION 19, T2N., R1E., S1&2&M.
BOUNTIFUL CITY, DAVIS COUNTY, UTAH

DATE	REVISION	BY	DATE
REF 1	DATE	DATE	DATE
REF 2	DATE	DATE	DATE
REF 3	DATE	DATE	DATE
REF 4	DATE	DATE	DATE
REF 5	DATE	DATE	DATE
REF 6	DATE	DATE	DATE
REF 7	DATE	DATE	DATE
REF 8	DATE	DATE	DATE

DRAWN: MM
APPROVED: JRC
PROJECT #: 1688005
TOPO 1688005.dwg

C200
TOPOGRAPHIC SURVEY



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Phone 801.298.2236
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Entellus
ENGINEERING PROFESSIONAL
5-8-84
No. 188588
SCOTT T. ARDREY
ARCHITECT

KEC LUBE CENTER

77 SOUTH 500 WEST
TAX PARCEL # 30-25-013
LOCATED IN THE SW 1/4 OF SECTION 19, T2N., R.1E., S.1R.4M.
BOUNTIFUL CITY, DAVIS COUNTY, UTAH

DATE	DESCRIPTION	DATE
REV 1	ISSUED FOR PERMIT	DATE
REV 2		DATE
REV 3		DATE
REV 4		DATE
REV 5		DATE
REV 6		DATE
REV 7		DATE
REV 8		DATE

DRAWN: SR

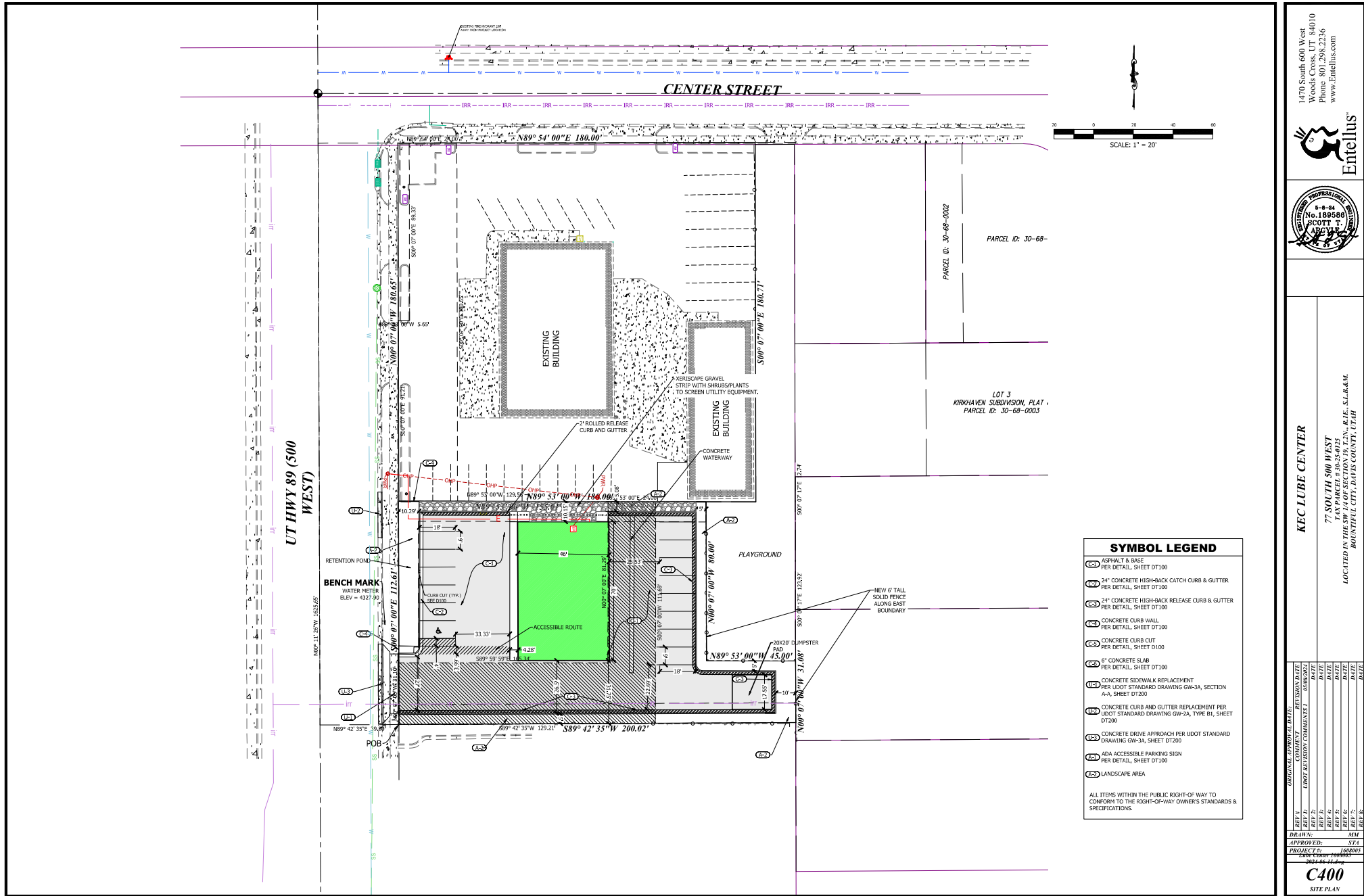
APPROVED: STA

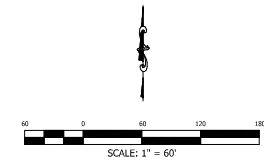
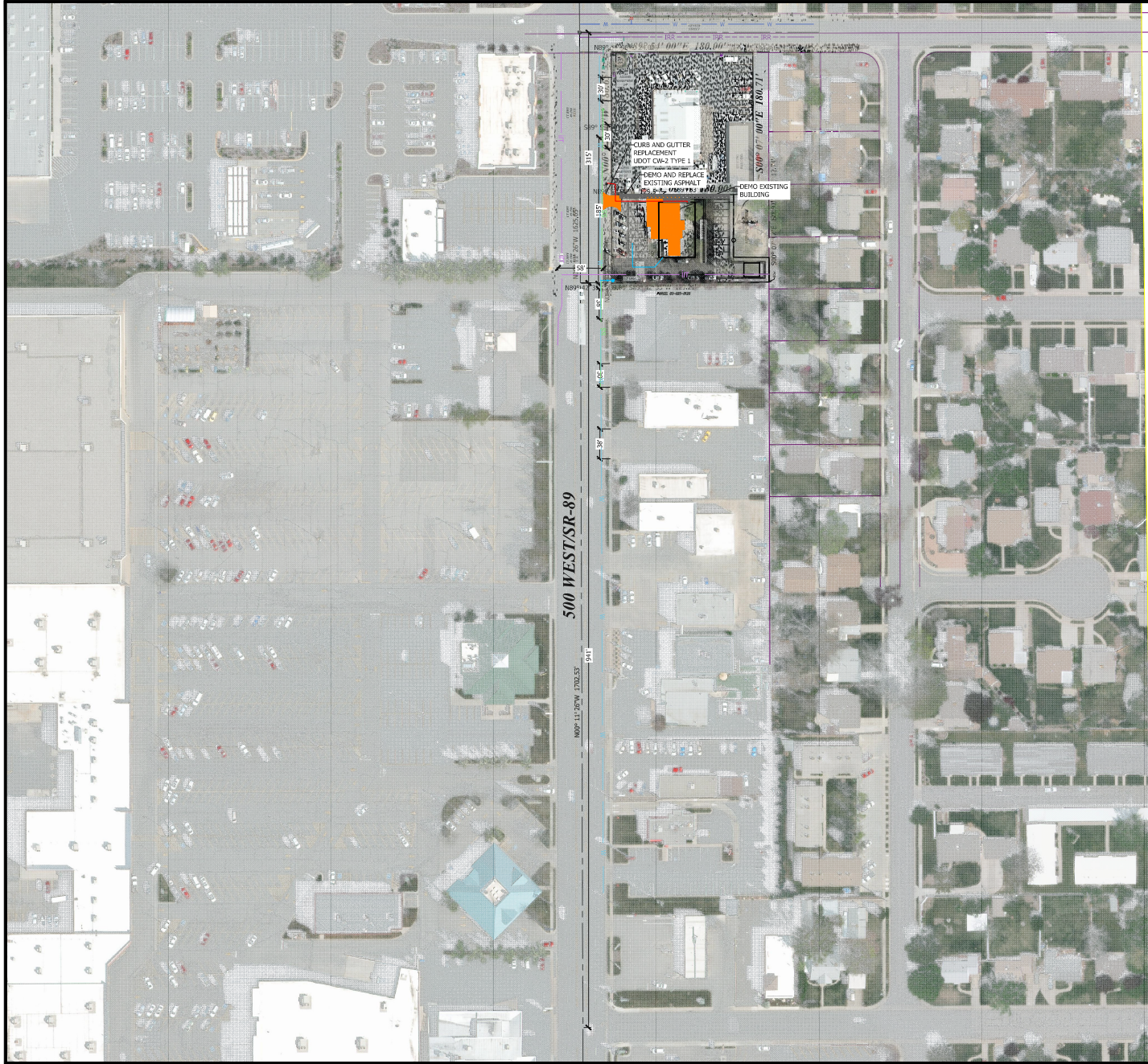
PROJECT: KEC LUBE CENTER

PROJECT NO: 2023-001

C300

DEMOLITION PLAN





#####

CURRENT ZONING:
HEAVY COMMERCIAL

**CHANGE OF USE FROM PROFESSIONAL
OFFICE TO CAR LUBE CENTER**

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Woods Cross, UT 84010
Phone 801.298.2236
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KEC VEHICLE LUBE CENTER

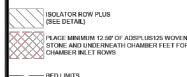
77 SOUTH 500 WEST
TAX PARCEL # 30-25-013
LOCATED IN THE SW 1/4 OF SECTION 19, T2N., R1E., S1R.A.M.
BOUNTIFUL CITY, DAVIS COUNTY, UTAH

DATE	REVISION	DATE
REV 1	DATE	DATE
REV 2	DATE	DATE
REV 3	DATE	DATE
REV 4	DATE	DATE
REV 5	DATE	DATE
REV 6	DATE	DATE
REV 7	DATE	DATE
REV 8	DATE	DATE

APPROVED: STA
PROJECT: C800

C800
UDOT EXHIBIT

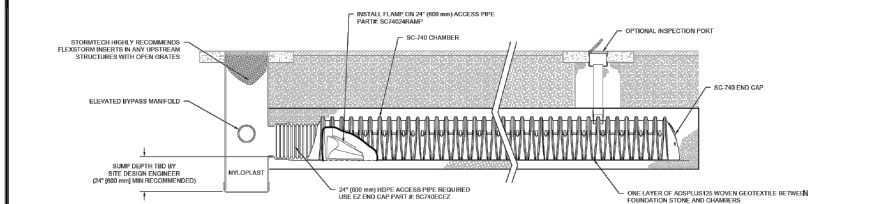
Figure 1 is a schematic diagram of the experimental setup. It shows a rectangular specimen with a length of 71.58 inches and a width of 66.65 inches. The specimen is reinforced with a grid of bars. A central section of the specimen is highlighted with a different pattern, indicating a specific area of interest. The diagram includes dimension lines and labels for the overall size and the central section.



NOTES

- MANHOLE SIZES TO BE DETERMINED BY SITE DESIGN ENGINEER. SITE TECH. HSB 30 FOR MANHOLE SIZING GUIDANCE.
- DUE TO THE ADAPTATION OF THIS CHAMBER SYSTEM TO SITE-SPECIFIC SITE AND DESIGN CONDITIONS, IT MAY BE NECESSARY TO CUT AND COUPLE ADDITIONAL PIPE TO STANDARD COMPONENTS IN THE FIELD.
- THE CHAMBER SYSTEM MUST BE DESIGNED WITH SLOPED WALLS AND IF NECESSARY ADD GRADING TO ENSURE THE CHAMBER COVER MEETS REQUIREMENTS ARE MET.
- THIS CHAMBER SYSTEM WAS DESIGNED WITHOUT SITE-SPECIFIC INFORMATION ON SOIL CONDITIONS OR BEARING CAPACITY. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR THE SUITABILITY OF THE SOIL AND PROVIDING THE BEARING CAPACITY OF THE INPUT SOILS. THE BASE SOIL DEPTH MAY BE INCREASED OR DECREASED. SINCE THIS INFORMATION IS PROVIDED FOR INFORMATION ONLY, THE USER MUST PROVIDE THE REQUIRED DATA TO THE DESIGNER.

NOT FOR CONSTRUCTION: THIS LAYOUT IS FOR DIMENSIONAL PURPOSES ONLY TO PROVIDE CONCEPT & THE REQUIRED STORAGE VOLUME CAN BE ACHIEVED ON SITE.



SC-740 ISOLATOR ROW PLUS DETAIL

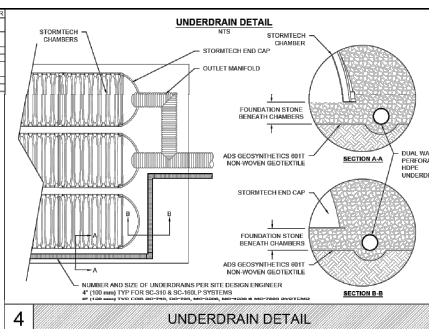
SC-740 ISOLATOR ROW PLUS DETAIL

INSPECTION & MAINTENANCE

- [illegible]

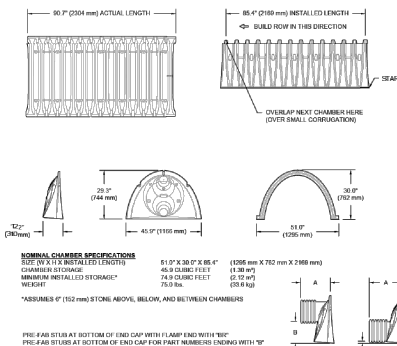
NOTES

1. INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
2. CONDUCT JETTING AND VACUUMING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.



4	UNDERDRAIN DETAIL
---	-------------------

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SC-740 TECHNICAL SPECIFICATION
NTS[illegible]

* FOR THE SC740CEZ THE 2" (50.8 mm) STUD IS BELOW THE BOTTOM OF THE END CAP APPROXIMATELY 1.75" (44 mm).
ROCKET MATERIAL SHOULD BE BURNED FROM BELOW THE H-12 STUD SO THAT THE BOTTOM SURFACES

NOTE: ALL DIMENSIONS ARE NOMINAL

SC-740 TECHNICAL SPECIFICATION

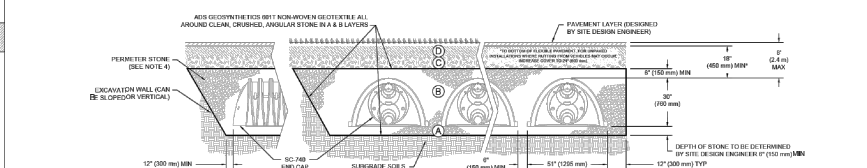
[illegible]

PLEASE NOTE:

1. THE LISTED AGGREGATE DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, GRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE, "CLEAN, CRUSHED, ANGULAR NO. 4 (ASHFOT M3) STONE".

2. STONE/CRUSH COMPACTION REQUIREMENTS ARE MET FOR ALL LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 150mm (6IN) LIFT USING TWO TOP COVEREDGES WITH A VIBRATORY COMPACTOR. DISTRIBUTION PATTERNS WILL BE COMPARISONS TO SPECIFICATIONS FOR STANDARD DESIGN (FLAT COMPACTING, A FLAT SURFACE OR IRREGULAR SURFACE) USING COMPACTOR EQUIPMENT FOR SPECIAL LOAD DESIGNS, CONTACT DISTRIBUTION FOR COMPACTION REQUIREMENTS.

3. POLYMER MODIFIED ASPHALT CAN BE PLACED IN LAYER 15" UP TO THE FINISHED GRADE. MOST PAVEMENT SUBGRADE SOILS CAN BE USED TO REPLACE THE MATERIAL. REQUIREMENTS OF LAYER 0" OR 15" AT THE SITE DESIGN ENGINEER'S DIRECTION.



NOTES:

1. CHAMBERS SHALL MEET THE REQUIREMENTS SPECIFIED FOR "STANDARD SPECIFICATION FOR POLYPROPYLENE CORRUGATED WALL, STORMWATER COLLECTION CHAMBER".
2. THE CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM 7222 (STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THIN-WALLED CORRUGATED WALL STORMWATER COLLECTION CHAMBERS).
3. THE DESIGN ENGINEER IS RESPONSIBLE FOR ADDRESSING THE EXISTING RESISTANCE (ALLOWING AVERAGE GRAVITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITHIN THE CHAMBERS FOR THE RANGE OF EXPECTED SOIL MODULI AND MODULI OF SUBGRADE.
4. FURNISH STONE SHALL BE EXTENDED INDIVIDUALLY TO THE ELEVATION RANGE FOR BOTH VERTICAL AND SLOPED ELEVATIONS WALLS.
5. REQUIREMENTS FOR LATCHING AND INSTALLATION.
- a. TO MAINTAIN THE INTEGRITY OF CHAMBERS DURING SHIPING AND UNLOADING, CHAMBERS SHALL HAVE INTERLOCK, INTERLOCKING STACING LUGS.
- b. TO MAINTAIN A SECURE JOINT DURING INSTALLATION, EACH JOINT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 2".
- c. TO MAINTAIN THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, Q/4 ARCH STRESS SHALL BE GREATER THAN OR EQUAL TO 550 (LB/IN²). THE ARCH IS DEFINED IN SECTION 2.8.2.2 OF ASTM 7222, AND TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (MAX. 72° F) 2" C/C CHAMBERS SHALL BE PROVIDED FROM REFLECTED GLOBS, GLOBES

SC-740 CROSS SECTION DETAIL

SPACE INTENTIONALLY LEFT BLANK

DRAWN: CA	DATE:
CHECKED: N/A	PROJECT #:
REV:	NOT TO SCALE

LUBE CENTER
BOUNTIFUL, UT, USA

IAN BLVD
H 43026
73



SHEET
1 OF 1

 Entellus™

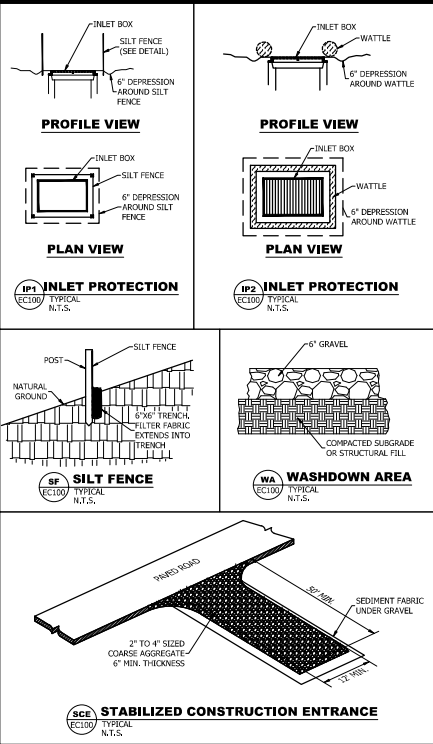
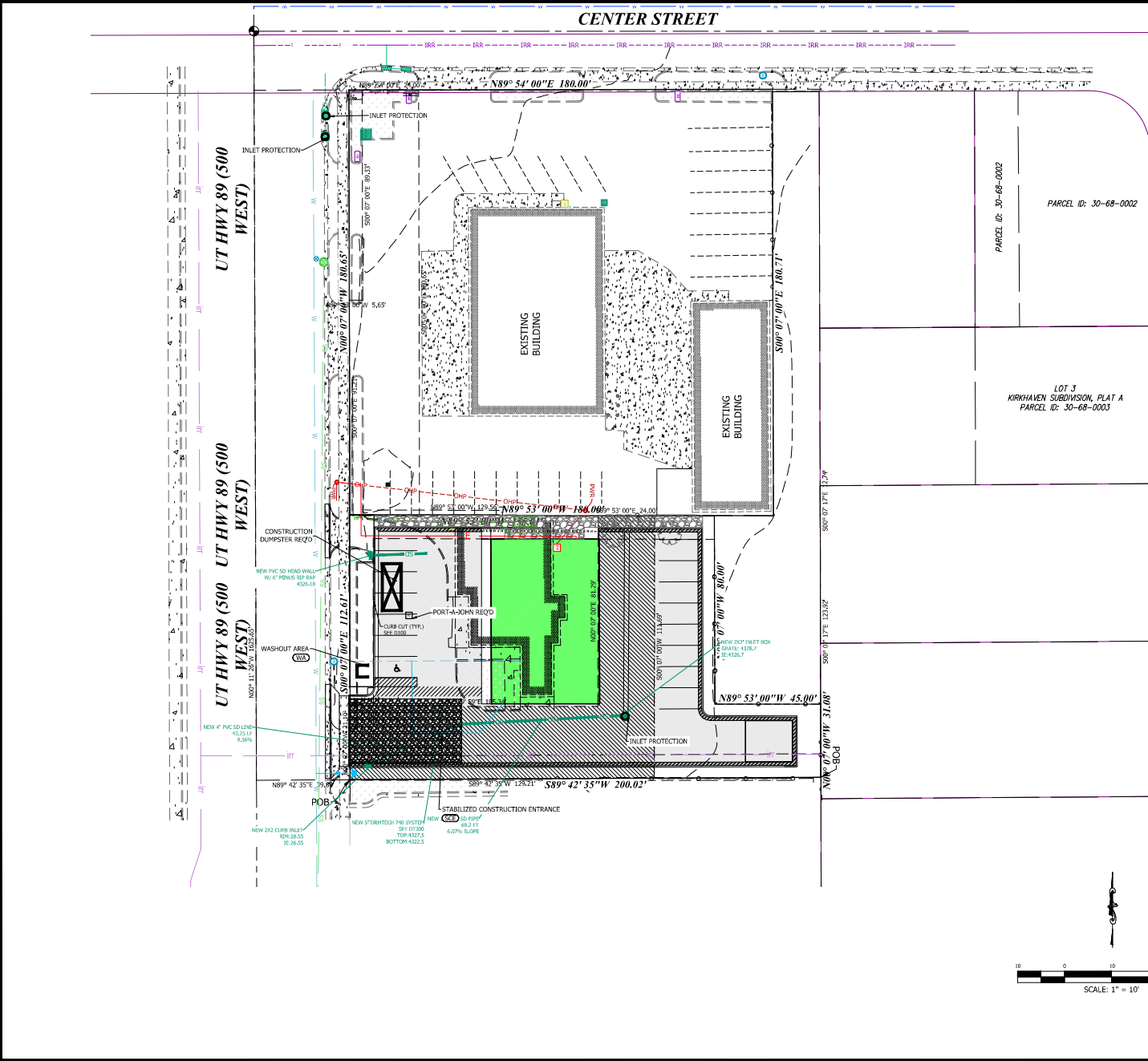
KEC LUBE CENTER
77 SOUTH 500 WEST
TAX PARCEL # 30-25-0125
LOCATED IN THE SW 1/4 OF SECTION 19, T.2N., R.3E.,
BOUNTIFUL CITY, DAVIS COUNTY, UT

ORIGINAL APPROVAL DATE:		
REV #	COMMENT	REVISION DATE
REV 1:		DATE
REV 2:		DATE
REV 3:		DATE
REV 4:		DATE
REV 5:		DATE
REV 6:		DATE
REV 7:		DATE
REV 8:		DATE

PROJECT #: XXXXXXXXXX
Lube Center 1608903
2024-06-11.dwg

DT300

RETENTION DETAILS



CONSTRUCTION NOTES:

CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY LOCAL, STATE, AND FEDERAL PERMITS PRIOR TO COMMENCING CONSTRUCTION.

CONTRACTOR TO MAINTAIN A COPY OF THE SWPPP ON SITE.

CONTRACTOR TO INSPECT SITE TO ENSURE THE SWPPP IMPROVEMENTS ARE IN PLACE AND FUNCTIONAL.

CONTRACTOR TO MAINTAIN TEMPORARY EROSION AND SEDIMENT CONTROLS AND HOUSEKEEPING MEASURES.

ALL SOLID WASTE SHALL BE STORED IN A SECURELY LIDDED METAL DUMPSTER. THE DUMPSTER SHALL MEET ALL STATE AND LOCAL WASTE MANAGEMENT REGULATIONS.

ALL HAZARDOUS WASTE SHALL BE DISPOSED OF IN THE MANNER AS SPECIFIED BY THE MANUFACTURER AND STATE AND LOCAL REGULATIONS.

A WASHOUT AREA SHALL BE CONSTRUCTED FOR THE TEMPORARY COLLECTION OF EXCESS CONCRETE AND NON-STORM WATER DISCHARGES FROM VEHICLE WASHING. THE CONCRETE WILL BE TAKEN TO THE CITY LANDFILL WITHIN 1 WEEK OF PLACING IN THE WASHOUT AREA.

A STABILIZED CONSTRUCTION ENTRANCE WILL BE CONSTRUCTED TO REDUCE VEHICLE TRACKING OF SEDIMENTS ONTO PUBLIC RIGHT OF WAYS. THE PAVED STREET ADJACENT TO THE SITE ENTRANCE WILL BE SWEEP DAILY TO REMOVE EXCESS DIRT.

INSPECTION SHALL BE MADE MONTHLY AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. ALL NON-STORM WATER FLOWS SHALL BE DIRECTED TOWARD THE WASHOUT AREA OR SEDIMENT BASIN. THE SWPPP WILL BE REVISED AS SITE CONDITIONS AND PROJECT WARRANTS.

CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING AND SWEEPING PUBLIC STREETS ON A DAILY BASIS, OR MORE IF NECESSARY.

CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ADEQUATE DUST CONTROL THROUGHOUT THE COURSE OF THE PROJECT.

1470 South 600 West
Woods Cross, UT 84010
Phone 801.298.2236
www.Entellus.com

5-8-24
No. 180588
SCOTT T. ARBUTT
Professional Engineer

KEC LUBE CENTER

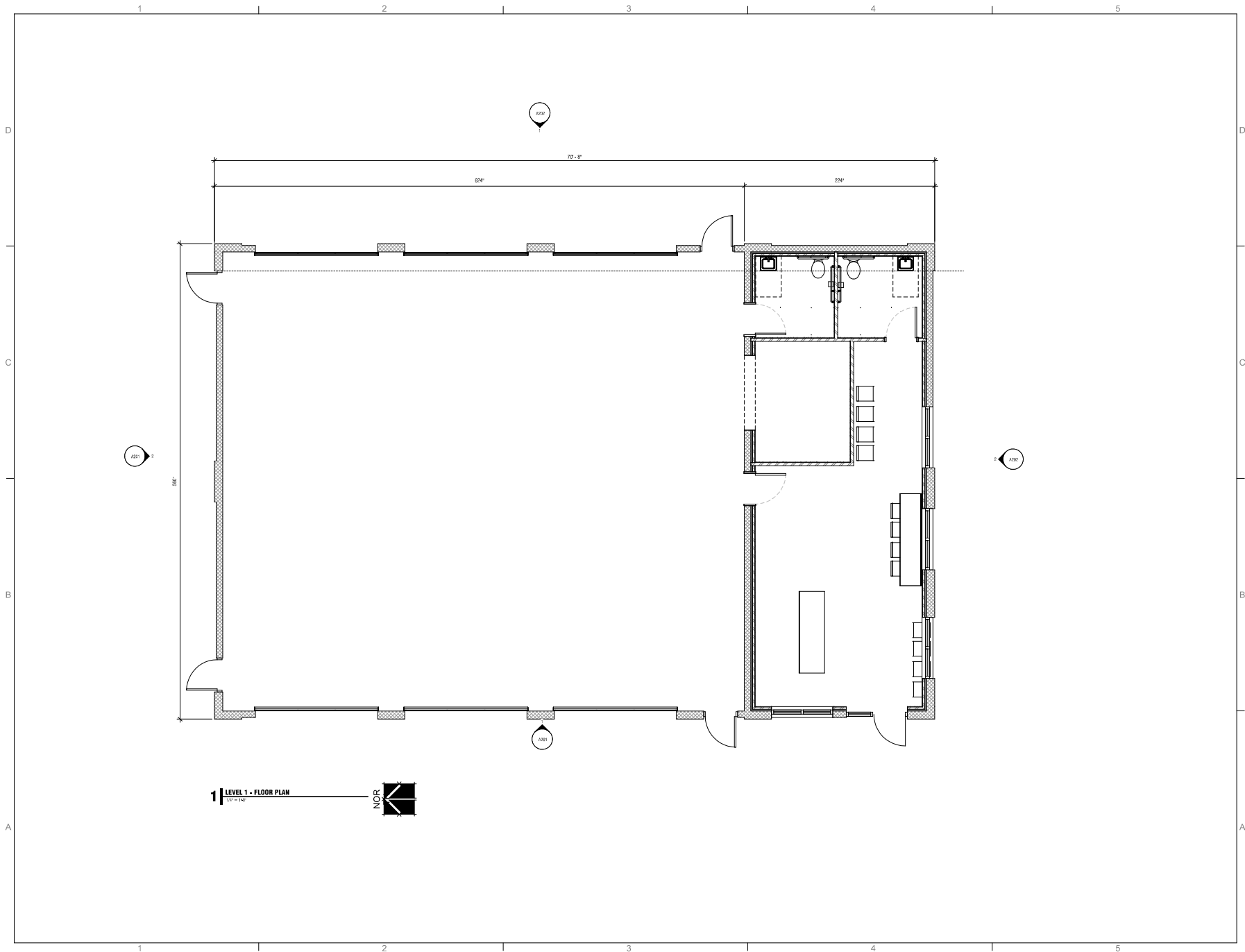
77 SOUTH 500 WEST
TAX PARCEL # 30-25-013
LOCATED IN THE SW 1/4 OF SECTION 19, T.2N., R.1E., S.1.R.A.M.
BOUNTIFUL CITY, DAVIS COUNTY, UTAH

DATE	REVISION	DATE
6/19/24	ENGINEER: STA	6/19/24
6/19/24	PROJECT: KEC LUBE CENTER	6/19/24
6/19/24	DRAWN: STA	6/19/24
6/19/24	CHECKED: STA	6/19/24
6/19/24	APPROVED: STA	6/19/24

EC100

EROSION CONTROL PLAN

Page 61 of 81



UNLESS A PROFESSIONAL SEAL, SIGNATURE AND DATE ARE APPLIED, THIS DOCUMENT IS PRELIMINARY AND NOT BE USED FOR CONSTRUCTION, RECORDING PURPOSES, OR FOR CONSTRUCTION.

Element
design collective

THE DESIGN SHOWN HAS BEEN DESIGNED AND DEVELOPED FOR ALL INFORMATION AND PURPOSES ONLY. IT IS NOT A CONTRACT. THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT.

PROJECT
BOUNTIFUL BIG-O LUBE CENTER

70 SOUTH 500 WEST, BOUNTIFUL, UT 84010

REVISIONS:

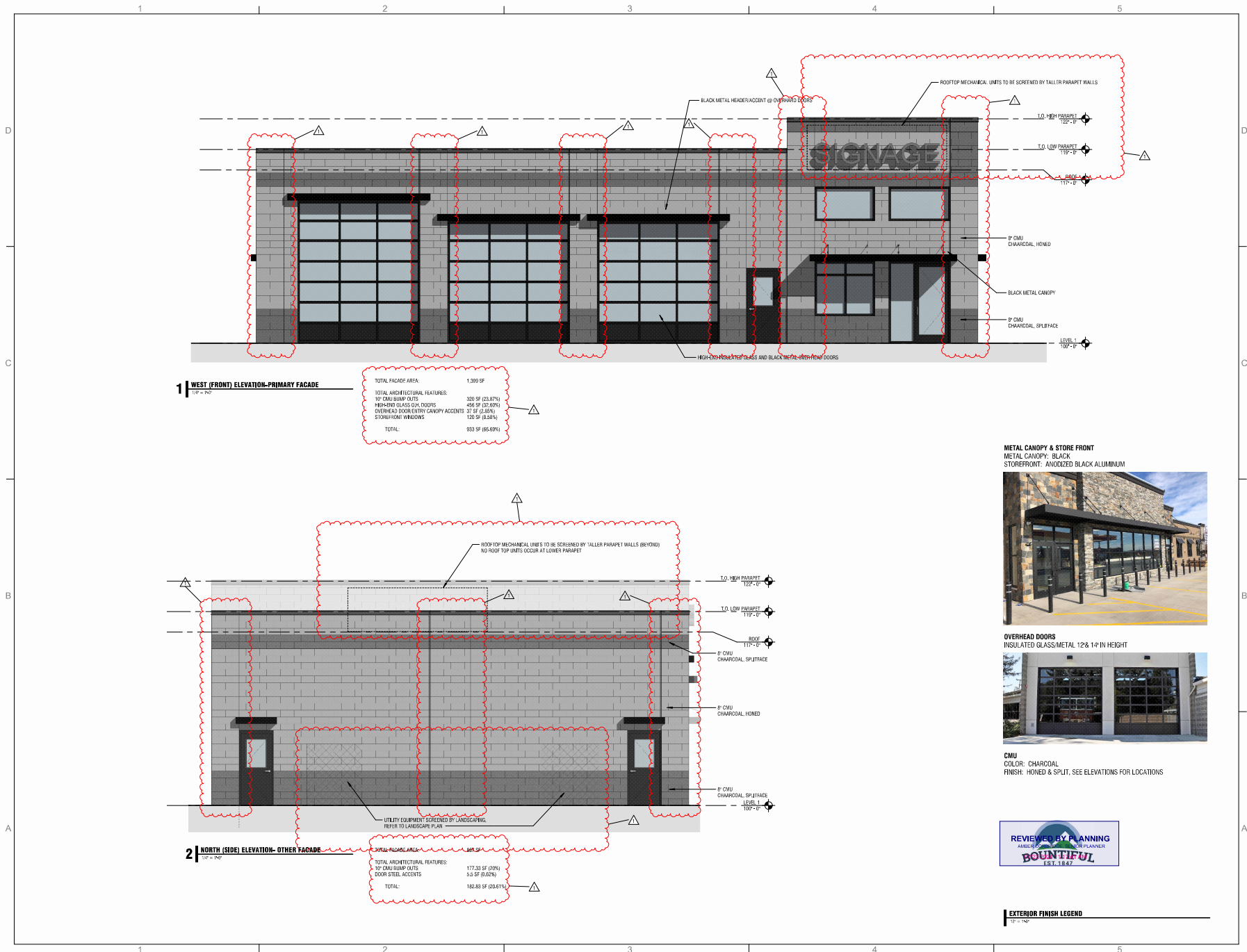
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LEVEL 1 FLOOR PLAN

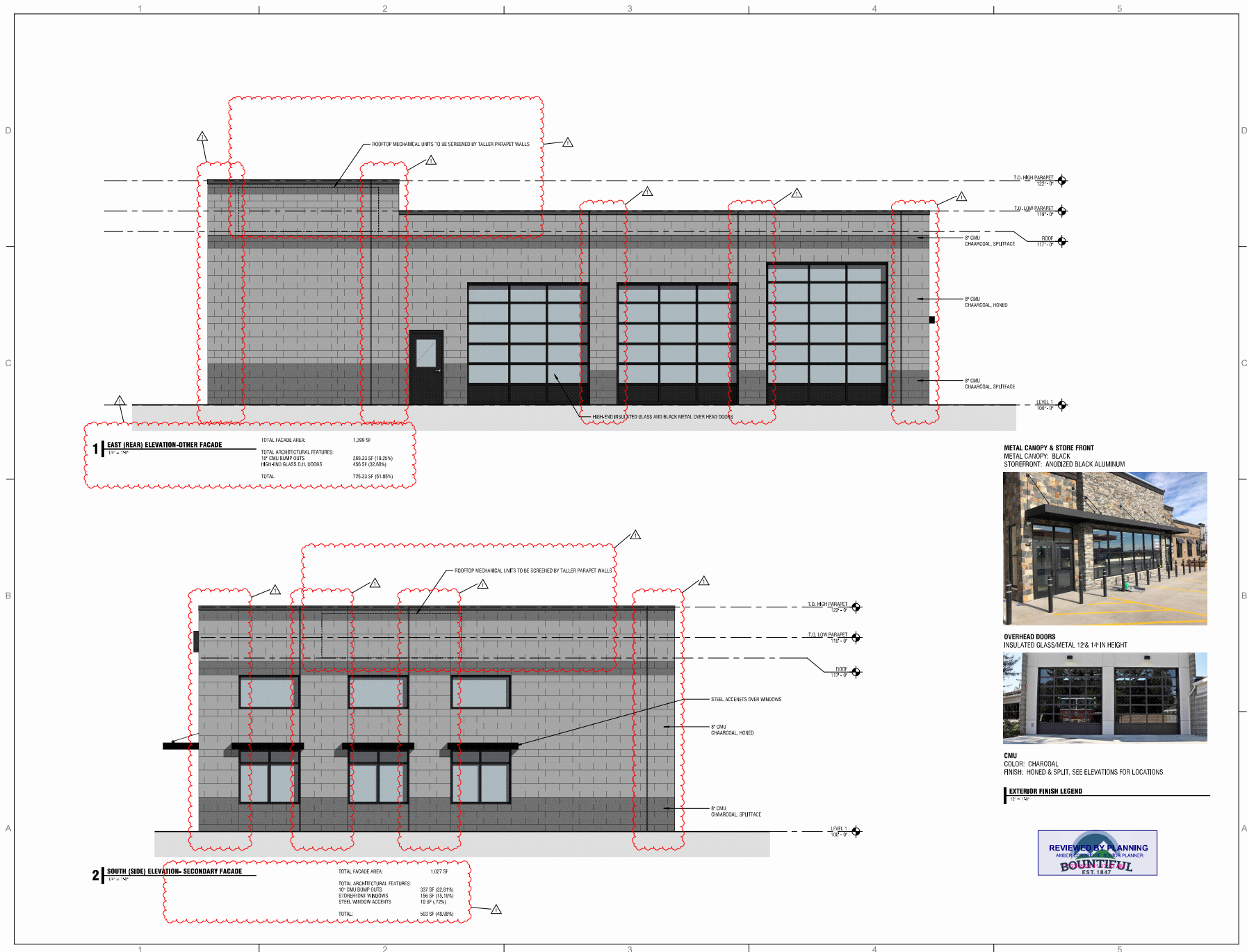
SHEET:

A112

ISSUE DATE: 09/20/2023

CONCEPTUAL DESIGN





UNLESS A PROFESSIONAL SEAL, SIGNATURE AND DATE ARE APPLIED, THIS DOCUMENT IS PRELIMINARY AND NOT BE USED FOR CONSTRUCTION. REVISIONS SHOULD BE MADE TO THE ORIGINAL DESIGN.

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 design collective

THE DESIGN SHOWN HAS BEEN REVIEWED AND APPROVED FOR ALL APPLICABLE REGULATORY REQUIREMENTS. THE DESIGNER ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS. THE DESIGNER ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS. THE DESIGNER ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS.

PROJECT
BOUNTIFUL BIG-O LUBE CENTER
 70 SOUTH 500 WEST, BOUNTIFUL, UT 84010

REVISIONS:

1 CITY COMMENTS 06/04/2024

TITLE:
 EXTERIOR ELEVATIONS

SHEET:

A202

ISSUE DATE: 09/20/2023

CONCEPTUAL DESIGN

UDOT Pre-Application Permit Meeting

Route: US-89 MP: 388.93

Pre-App # PA-137356 Applicant: Thomas Breslin (Entellus)

TIS Level / Permit Review Fee:

- TIS Options, Permit Fee Level 2

Required Documents - for more Information visit:

<https://www.udot.utah.gov/connect/business/permits/access-management/>

- Complete Site Plans
- Variance Request Form (Filled and signed by applicant and owner)
- Property Owner Statement (One for each property owner closing any access)
- Future Cross Access Easement (with property to the South - parcel 030250120)
- Letter from the local jurisdiction stating they are aware of the project

Site Plan & Access Notes:

- Anticipated to close at least one existing drive approach and be granted a temporary access that may be moved or improved to the shared driveway aligned with the roadway across the highway. Consider working with Big O Tires to complete the long term vision with cross access so both businesses will have access at the intersection locations and all substandard midblock access points are removed.
- Add the updated UDOT Notes to General Project Notes: listed in the Conditional Access Guide at <https://www.udot.utah.gov/connect/business/permits/access-management/>
- Consider including the current applicable UDOT standard and supplemental drawings as part of the plan set. These are available on the UDOT website at [udot.utah.gov](https://www.udot.utah.gov)
- Remove and replace existing curb cuts with matching UDOT standard curb and gutter. Restore the parkstrip according to city requirements.

Traffic Impact Notes:

- Option A: Close the northern most drive approach with curb and gutter and provide a Future Cross Access with the Cache Valley Bank property. Provide the pictorial exhibit and legal parcel description exhibit for review. The agreement may be signed and recorded after plan approval and prior to issuance of the permit. This option will waive the TIS requirement.
- Option B: Provide a Level 2 Traffic Impact Study (TIS) with existing counts at both intersections of US-89 located at the south property line and to the North of the property.

Utility Notes:

- Show existing and tie-in requirements of utilities

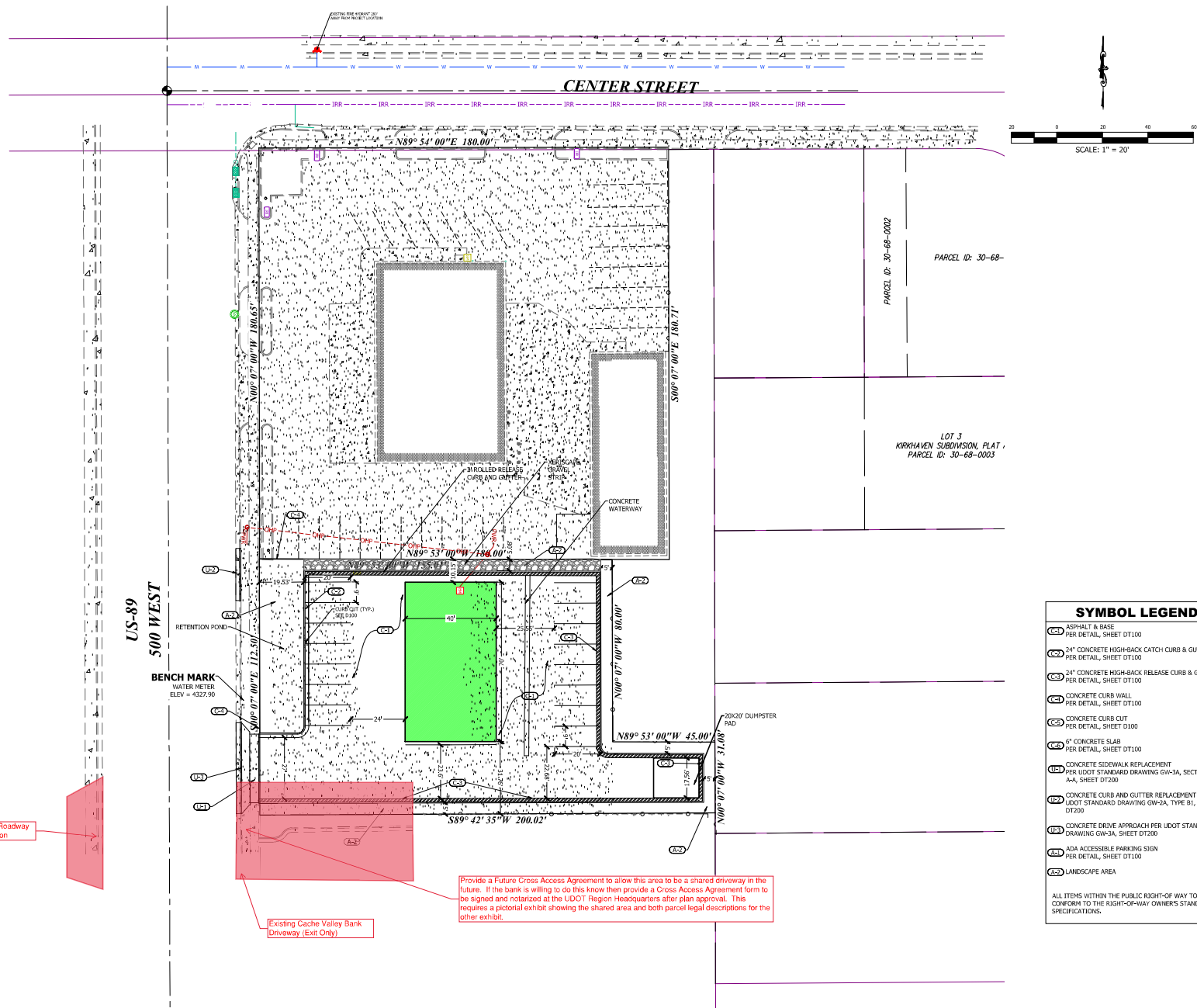
- Our policy is that we require trenchless construction unless convincing and sufficient reason is given for open trench construction. The reason for this is the substantial delays caused to the public which we measure in user costs, and the degradation to our pavement which increases maintenance costs and shortens the life cycle duration of the pavement.
- If small utility trenches are needed, they are to be cut at right angles to the travel lanes. Patches require at least a 2 inch rotomilling approaching and leaving the patch in all travel lanes impacted before final asphalt placement to create the "T patch".
- All final parallel sawcut lines or rotomilling must be located either at designed lane lines or designed center of lane. Sawcuts must be cleaned and a tack-coat applied before asphalt placement.
- All trenches for laterals within a 100 ft distance must have a 2 inch mill and replaced as a single patch. Single laterals will require a 2 inch mill for 20 ft each direction.
- Consider removing abandoned utilities when possible without major impacts to the public. All abandoned lines 6 inch diameter or larger that remain in place are to be filled with flowable fill meeting standard specification 03575.
- For asphalt construction within the UDOT ROW match existing, or the anticipated existing of 6 inches of UDOT- approved hot mix asphalt (HMA), PG-grade 64-34 asphalt binder, 1/2 inch nominal max, 7-75-115 gyration per UDOT standard specification 02741; over 6 inches untreated base course (UTBC) per UDOT specification 02721; over 12 inches granular borrow (GB) per UDOT specification 02056 (whichever is greater). Provide documentation of compaction from a UDOT-qualified laboratory.
- Specify the following method of sealing the pavement: Micro-Surfacing per UDOT standard specification 02735S required for this roadway on at least all new pavement placed within UDOT right-of-way.

Drainage Notes:

- Anticipated to retain drainage onsite.

Other Notes:

- Pre-application notes are valid for 12 months. Approved Conditional Access Permits have 12 months from the date of approval to acquire an Encroachment Permit to build the access.



SYMBOL LEGEND		
(A-1)	ASPHALT & BASE	PER DETAIL, SHEET DT100
(A-2)	24" CONCRETE HIGH-BACK CATCH CURB & GUTTER	PER DETAIL, SHEET DT100
(A-3)	24" CONCRETE HIGH-BACK RELEASE CURB & GUTTER	PER DETAIL, SHEET DT100
(A-4)	CONCRETE CURB WALL	PER DETAIL, SHEET DT100
(A-5)	CONCRETE CURB CUT	PER DETAIL, SHEET DT100
(A-6)	6" CONCRETE SLAB	PER DETAIL, SHEET DT100
(A-7)	CONCRETE SIDEWALK REPLACEMENT	PER UDOT STANDARD DRAWING GW-3A, SECTION A-A, SHEET DT200
(A-8)	CONCRETE CURB AND GUTTER REPLACEMENT	PER UDOT STANDARD DRAWING GW-2A, TYPE B1, SHEET DT200
(A-9)	CONCRETE DRIVE APPROACH	PER UDOT STANDARD DRAWING GW-3A, SHEET DT200
(A-10)	ADA ACCESSIBLE PARKING SIGN	PER DETAIL, SHEET DT100
(A-11)	LANDSCAPE AREA	

ALL ITEMS WITHIN THE PUBLIC RIGHT-OF-WAY TO CONFORM TO THE RIGHT-OF-WAY OWNER'S STANDARDS & SPECIFICATIONS.

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Woods Cross, UT 84010
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TAX PARCEL # 30-68-013
LOCATED IN THE SW 1/4 OF SECTION 19, T3N., R1E., S1R.A.M.
BOUNTIFUL CITY, DAVIS COUNTY, UTAH

DATE	REVISION	DATE	REVISION

DRAWN: MM
APPROVED: STA
PROJECT # 2023-001
DATE 08/06/2024

C400
SITE PLAN

Planning Commission Staff Report



Subject: Conditional Use Permit for Public/Private Assembly (Event Venue)
at 1480 South Orchard Drive, Suite 113
Author: Jonah David Hadlock, Assistant Planner
Date: August 6, 2024

Background

The applicant, Megan Ericksen, with Sage Meadows Venue, submitted a Conditional Use Permit (CUP) application for a proposed small event venue located at 1480 South Orchard Drive, Suite 113. The property is in the Neighborhood Commercial (C-N) Zone which allows for public/private assembly (listed use) as a conditional use.

Originally, the building was approved and constructed in 1964 for professional, medical, and personal services. In October of 2023 the City approved a Zone Change at this location which amended the zone from Single-Family Residential (R-4) to Neighborhood Commercial (C-N). No proposed changes are being made to the exterior of the building or the site (see attached photographs of the existing site and structure). The requested use to be in suite 113 is approximately 1,100 square feet. This building has been in the community for many years and adding a small event venue would bring diverse benefits to the area.

Analysis

The Planning Commission shall consider how the proposed use 1) relates to the surrounding uses, 2) impacts the existing surrounding developments, and 3) has appropriate buffering of uses and buildings, proper parking and traffic circulation, and the use of building materials and landscaping, which are in harmony with the area (see Code 14-2-506.C).

The Land Use Code does not specifically define the proposed use. Based on the submitted proposal, including the provided narrative, Staff considers the proposed use as a “meeting hall for rent” under the broader category of public/private assembly. It appears that collectively all suites in the building have consistently been used for health-oriented and client-based uses such as dental clinics, counselling services, salons, and private education. The applicant has stated that the proposed use of an event venue complements other existing uses in the area because it would provide a place for social gatherings and community engagement without disrupting the daily operations of other businesses in the building.

The applicant has indicated that the venue will operate during evening hours and weekends after other offices close, stating that the impact on traffic and parking lot congestion will be minimal. Additionally, any additional noise that small-scale events can bring would be mitigated through venue noise regulations to ensure neighboring residences are not disturbed.

The applicant has stated that open communication with surrounding neighbors will be conducted on a regular basis to illustrate their willingness to be community oriented and sensitive to surrounding neighbors. Staff finds that additional buffering is not needed due to the building is already onsite, landscaping is sufficiently installed, and parking is sufficient for their proposed hours of operation.

The site has a total of 60 parking spaces. The existing uses currently require a total of approximately 45 parking spaces. Based on the requested use to be operated weekday evenings and weekends and to ensure sufficient off-street parking is available, Staff recommends limiting the hours of operation to after 5pm on weekdays and to reasonable hours on the weekends to limit potential impacts to traffic and the surrounding neighborhood.

Impacts

There are minimal impacts of this proposed use on the property and surrounding uses, as it is occupying an existing suite which was originally designed for professional and personal services. The existing infrastructure, such as water, sewer, culinary water, and transportation are in place to support this proposed use.

Department Review

This staff report was written by the Assistant Planner and was reviewed by the Planning Director and City Attorney.

Recommendation

Staff recommends the Planning Commission review the proposal, hold a public hearing, and approve the requested Conditional Use Permit for a small event venue at 1480 South Orchard Drive, Suite 113 subject to the following conditions:

1. Comply with all requirements of the building and fire codes.
2. Obtain the necessary building permits to the satisfaction of the Building Official.
3. Limit the use to after 5pm on weekdays and to reasonable hours on weekends.
4. If applicable, apply for and obtain permits for any new signage.
5. Comply with any additional comments made by Staff or the Planning Commission.

Attachments

1. Statement of Intent
2. Use and Impact Explanations
3. Site Plan
4. Floor Plan
5. Photographs of Existing Site and Structure

Statement of Intent

I am writing to apply for a Conditional Use Permit to establish an event venue specializing in small gatherings, including weddings, parties, workshops, business meetings, and similar events, in a unit at 1480 Orchard Drive.

Our proposed business aims to fill a significant need within the community for a versatile event space that can accommodate gatherings of varying sizes, offering a welcoming and adaptable environment for both social and professional occasions for an affordable price. We envision our venue as a cornerstone of community engagement, fostering connections and providing a unique setting that enhances the quality of life for residents and businesses alike.

Key features of our venue will include:

1. ****Versatility****: A flexible layout that can be tailored to accommodate different types of events, from intimate gatherings to larger celebrations of 65+ guests.
2. ****Amenities****: Thoughtfully designed amenities such as audiovisual equipment, various seating arrangements with tables, set up and cleanup services and Wi-Fi connectivity.
3. ****Accessibility****: Convenient location on Orchard Drive, easily accessible from both the 2600 S and 500 South freeway exits, accessible by public transportation and with adequate parking facilities to minimize traffic disruptions. The venue will also come with an accessible price for those who can't or don't want to pay the price of large full-service venues.
4. ****Community Engagement****: Commitment to collaborating with local vendors and businesses to support the local economy and promote community cohesion.

By obtaining a Conditional Use Permit, we affirm our commitment to operating in accordance with all local zoning regulations and ensuring that our venue contributes positively to the neighborhood's character and vitality. We are dedicated to maintaining open lines of communication with residents and the city to address any concerns and foster a harmonious relationship with the community.

In conclusion, we believe that our proposed event venue will not only meet but exceed the expectations of the community by providing a much-needed space for celebrations and professional gatherings at an affordable price. We look forward to the opportunity to contribute positively to the neighborhood and to receiving approval for our Conditional Use Permit.

Thank you for considering our application. We are available to provide any additional information or address any questions you may have.

Sincerely,

Megan Ericksen
801-628-3232

How does the proposed project fit with the surrounding properties and uses?

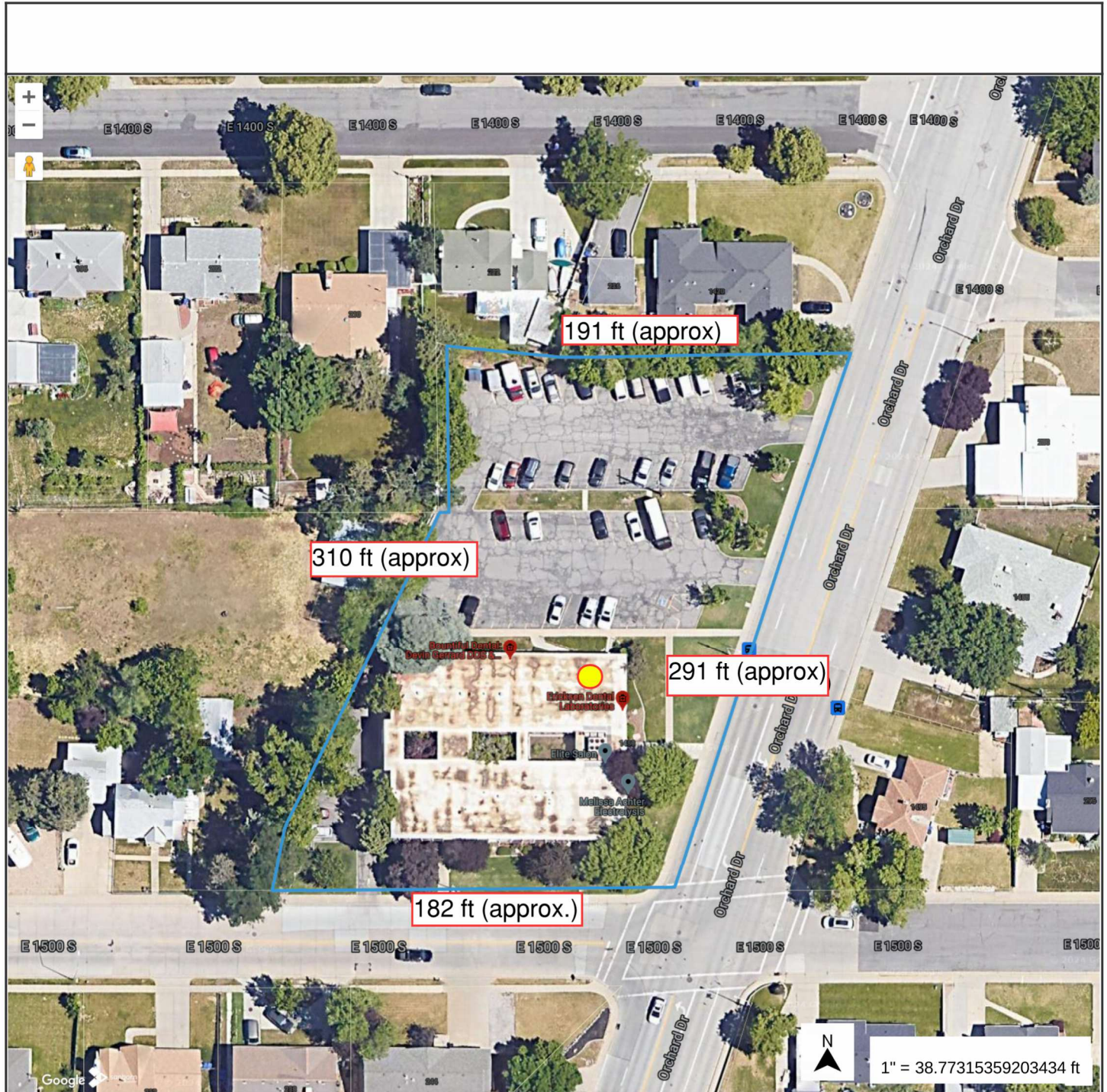
1. **Complimentary Land Use:** The venue will add diversity to the neighborhood's commercial offerings without directly competing with existing businesses like dental offices and labs. While dental offices cater to routine medical needs, my venue will serve a distinct community function by providing a space for social and professional gatherings.
2. **Minimal Disruption:** Because many events happen on nights and weekends, there will be minimal disruption to the neighboring business that operate during regular business hours. For events that take place during the weekdays we will operate in a manner that minimizes disruption such as managing noise levels during events, ensuring adequate parking to avoid congestion and scheduling events to minimize impact on daily operations of nearby offices.
3. **Enhanced Community Interaction:** My venue can positively contribute to the neighborhood's social fabric. By hosting events such as weddings, parties, workshops, and business meetings, my venue can foster community engagement and provide a convenient location for residents and nearby businesses to host gatherings.
4. **Community Engagement and Support:** We intend to actively engage with the local community and address any concerns or feedback from neighboring businesses and residents. This proactive approach demonstrates my commitment to being a responsible and valued member of the neighborhood.
5. **Economic and Social Benefits:** The venue will support the local economy by partnering with local vendors for catering, and other event services (photography, florals etc), thereby promoting cross-business collaboration. The venue will attract customers who want and need a smaller, more affordable place to host their gatherings, making hosting more accessible to more people in the community.

In what ways does the project not fit with the surrounding properties and uses?

1. **Traffic and Parking:** Increased traffic congestion and parking demands during events could disrupt the flow and availability of parking spaces for neighboring businesses.
2. **Noise and Disturbance:** Events held at the venue, even if small-scale, could generate noise that may not be typical for a primarily professional and residential area. Dental offices and labs typically operate in quieter environments conducive to patient care and laboratory work. The noise from events, particularly during evenings or weekends, could potentially disrupt the usual tranquility expected in a residential zone.
3. **Event Frequency and Duration:** Frequent events or events that extend late into the evening could disrupt the quiet and predictable nature of the neighborhood.
4. **Community Relations and Communication:** Possible lack of communication or perceived indifference to neighboring businesses and residents' concerns could strain community relations.


What will you do to mitigate the potential conflicts with surrounding properties and uses?

1. **Traffic and Parking:** The parking lot at 1480 Orchard Drive has over 50 parking spaces. With our seated guest capacity at 65 people, we will need 17 spots during peak events (This follows the 4 people to 1 vehicle ratio). If necessary, we will develop a greater plan to minimize congestion and ensure adequate parking spaces for event attendees without impacting neighboring businesses patient parking by using signage to indicate where guests of the venue can and can't park during regular business hours. Given the nature of the business, most larger gatherings (weddings, receptions) take place outside of regular business hours, i.e., nights and weekends.
2. **Noise Levels:**
 - a. Establish noise regulations for events and ensure they comply strictly with local ordinances. This will involve using professional sound equipment and managing the volume.
 - b. Notification and communication: proactively communicate with neighboring businesses and residents about upcoming events. Providing advance notice of event schedules, expected noise levels, contact info for venue management to address concerns promptly. Establish an open line of communication to receive feedback and adjust as necessary.
 - c. The nearest house is approximately over 150' away and across Orchard Drive. We will ensure that noise levels are at a reasonable level to not disturb the neighboring houses.
3. **Event Scheduling and Timing:** Clearly define operational hours and event scheduling policies in my event contract. Communicate these policies proactively to neighboring businesses and residents and be responsive to feedback or concerns.
4. **Community Relations and Engagement:** Actively engage with the local community and neighboring businesses to foster positive relationships. Participate in community meetings and support local events or initiatives to demonstrate my commitment to being a responsible member of the community. Establish clear lines of communication with neighboring businesses.



Property Information

Owner BOUNTIFUL PROFESSIONAL PLAZA INC
 Address 1480 SOUTH ORCHARD DRIVE
 Property ID 030810076

 = location of proposed unit
 on lower level of the building

Lot Size 1.25 acres



MAP FOR REFERENCE ONLY
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