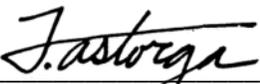


ADMINISTRATIVE COMMITTEE
Monday, September 30, 2019
5:00 p.m.

NOTICE IS HEREBY GIVEN that the Bountiful City Administrative Committee will hold its regular meeting in the Conference Room at **Bountiful City Offices, 150 North Main Street, Suite 103**, Bountiful, Utah, at the time and on the date given above. The public is invited. Persons who are disabled as defined by the Americans with Disabilities Act may request an accommodation by contacting the Bountiful City Planning Office at (801) 298-6190. Notification at least 24 hours prior to the meeting would be appreciated.

AGENDA

1. Welcome and Introductions.
2. Consider approval of minutes for September 23, 2019.
3. Consider approval of a Non-Complying Use Structure Determination at 1930 South 150 West, Clayton and Silvia Alvey, applicants.
4. **PUBLIC HEARING:** Consider approval of a Conditional Use Permit to allow for an Accessory Dwelling Unit at 231 South 1300 East, Marci Rosenlof and Chad & Jamee Lefler, applicants.
5. Consider approval of a Conditional Use Permit, in written form, to allow for an Accessory Dwelling Unit at 1253 Northridge Drive, Larry Simper, applicant.
6. Miscellaneous business and scheduling.



Francisco Astorga, Planning Director



RANDY C. LEWIS
MAYOR

CITY COUNCIL
Kate Bradshaw
Kendalyn Harris
Richard Higginson
John Marc Knight
Chris R. Simonsen

CITY MANAGER
Gary R. Hill

Memo

Date: September 25, 2019
To: Administrative Committee
From: Curtis Poole, Assistant City Planner
Re: Staff Report for the Administrative Committee Meeting on Monday, September 30, 2019

Overview

Consider the expansion of a Non-Complying Single-Family dwelling at 1930 South 150 West, Clayton and Silvia Alvey, Applicants.

Review Authority

Section 14-2-111 authorizes the Administrative Committee as the review body for requests relating to expanding Non-Complying Single-Family dwellings.

Findings

The Applicant's property is located in the R-4 Single-Family Residential Zone and was annexed into the City in October of 1952. The home may have been constructed in the early 1950's; however, there are no building permits on file for the construction of the home. The City Code at the time (1947 City Code) required side yard setbacks to be a minimum of ten (10) feet. It is unclear what the County Code required, if the home was built in the County before it was annexed into the City. There have been no additional building permits since the home was constructed. The home is considered to be a Non-Complying structure because it does not meet the current City Code regarding a side yard setback of eight (8) feet. The home is five (5) feet from the south side yard property line.

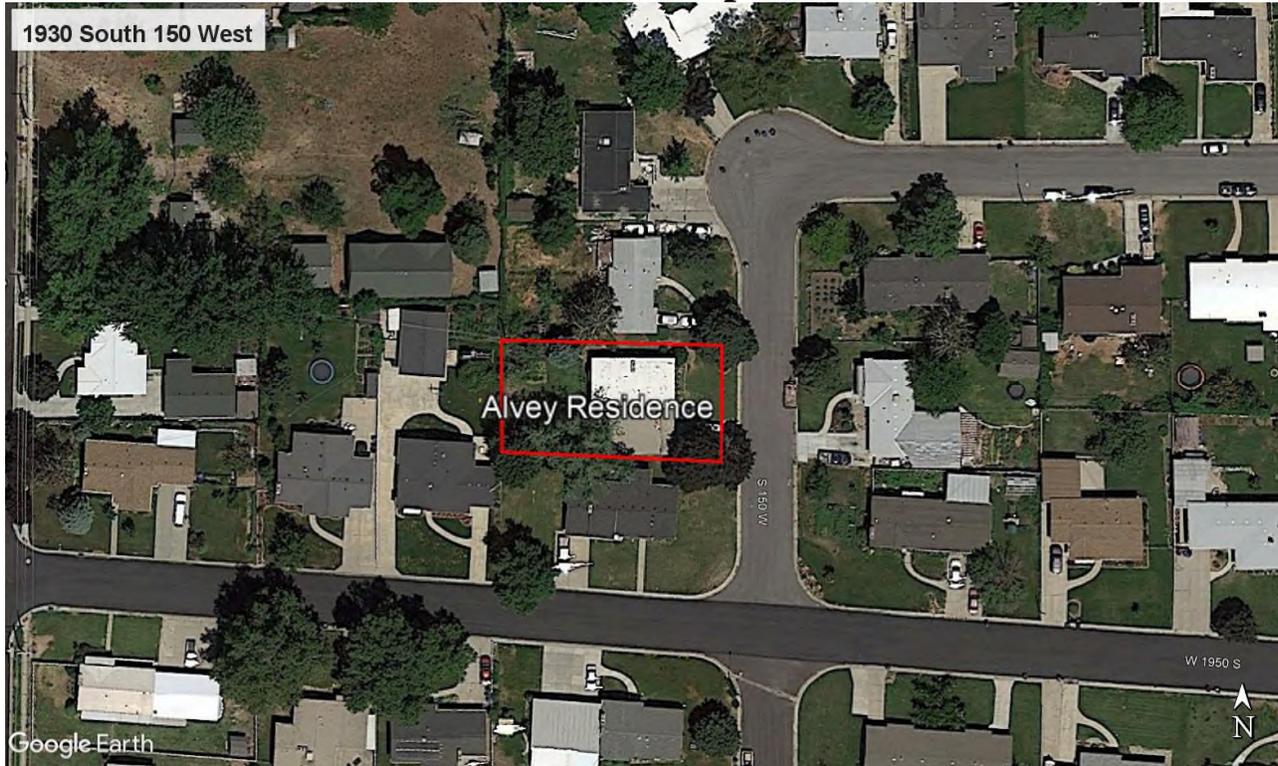
The purpose of the request is to allow the Applicants the ability to fill the breezeway between their garage and home. City Code states, "*Any expansion of a nonconformity that increases the degree of nonconformance is prohibited except as provided in this Title or as may be required by law.*"

Based upon observation of the property the roofline appears to be part of the original design of the home. This is significant because Staff determines whether a building is connected if it shares a common roofline. The roofline will not be altered as part of the alteration, nor will the building footprint be increased. The alteration to the home should be considered an interior remodel rather than an expansion. Also, Staff considers that filling in the breezeway between the garage and the home does not increase the degree of Noncompliance.

Staff Recommendation

Based upon the above findings, Staff finds the proposed alterations to the property should not be considered an expansion and enlargement of the Non-Complying structure. All typical City building processes and procedures would apply, such as compliance with applicable provisions of the International Building Code, obtaining a building permit, etc.

Aerial Map



September 16th, 2019

To the Administrative Committee of Bountiful City,

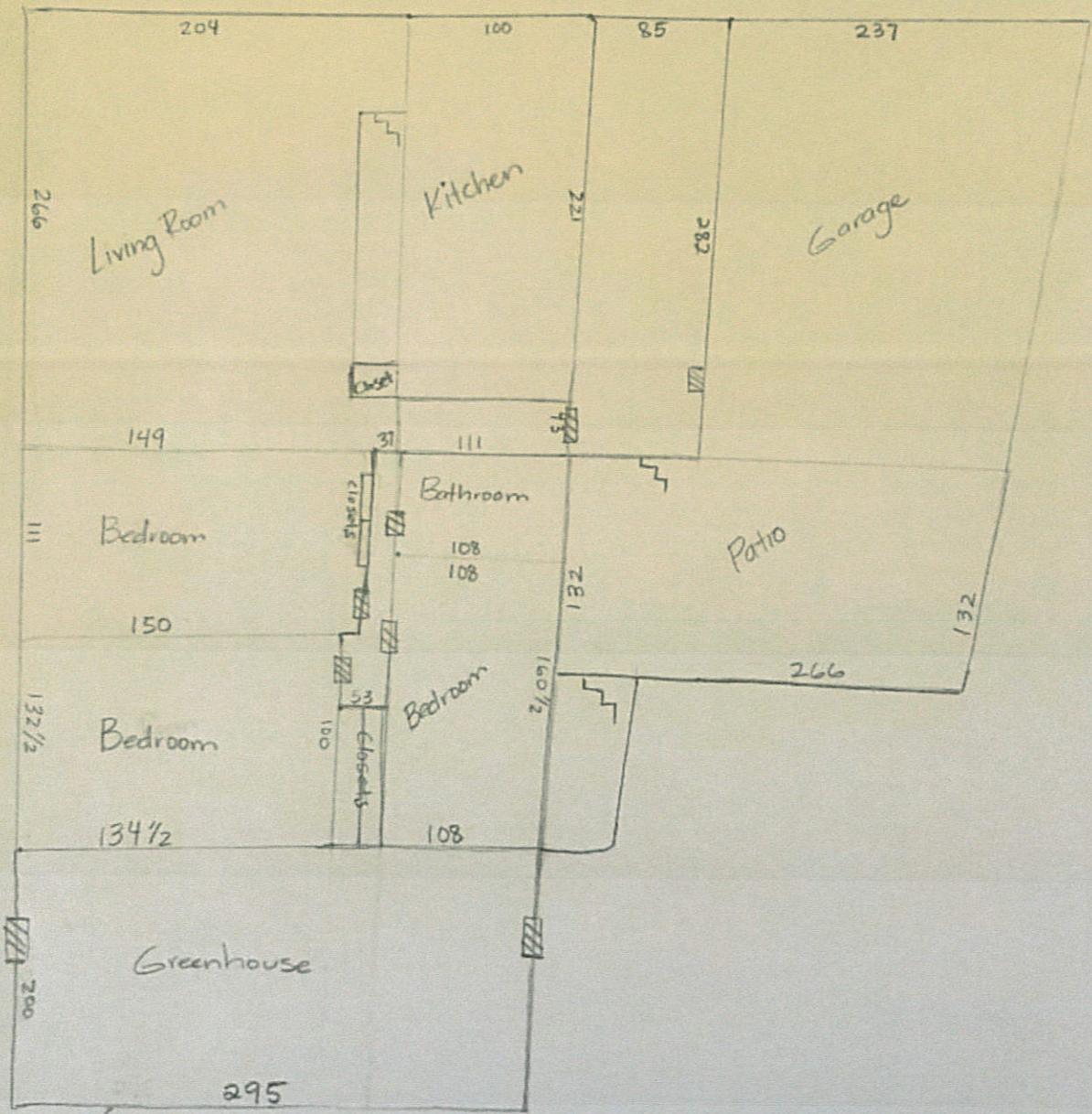
We present to you a no-compliance application because we would like to enclose our breezeway and expand our kitchen into the area but the south interior side setback is 5 feet instead of 8 feet.

This expansion to our home is greatly needed. Our kitchen is too small for our family. Our kids are growing fast and need extra space. We love our neighborhood and we don't want to move. If you allow us to expand, we will be able to stay in a city and neighborhood that we love, and we, as family, we'll be extremely grateful.

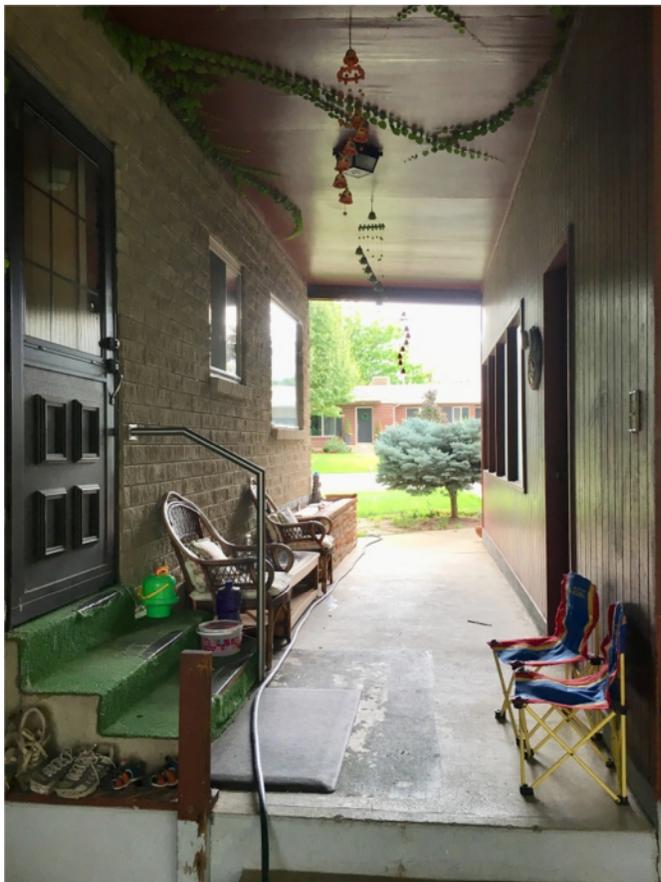
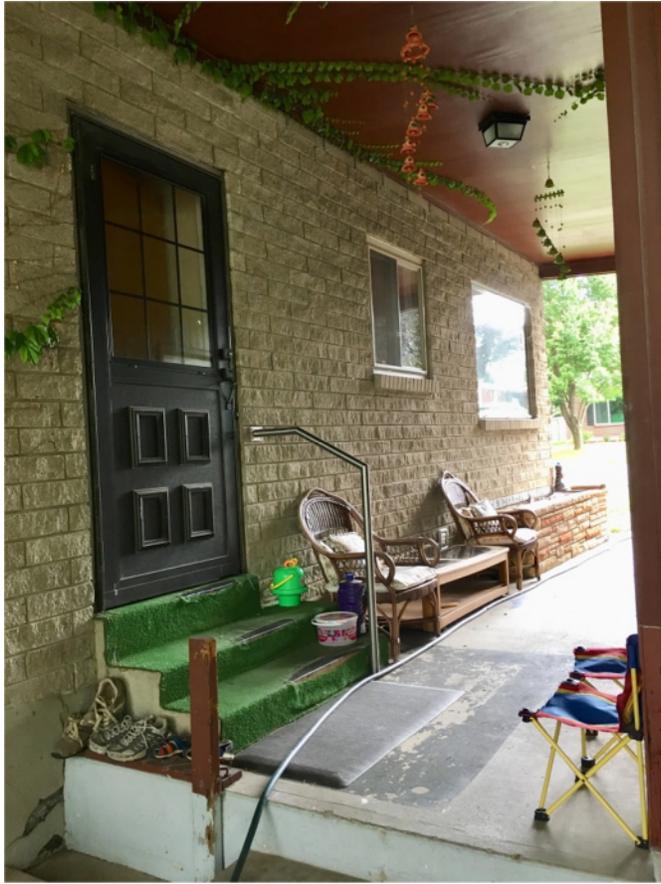
We hope that you consider the sincere reasons of our request.

Best regards,

Clayton and Silvia Alvey













RANDY C. LEWIS
MAYOR

CITY COUNCIL
Kate Bradshaw
Kendalyn Harris
Richard Higginson
John Marc Knight
Chris R. Simonsen

CITY MANAGER
Gary R. Hill

Memo

Date: September 25, 2019
To: Administrative Committee
From: Curtis Poole, Assistant City Planner
Re: Staff Report for the Administrative Committee Meeting on Monday, September 30, 2019

Overview

PUBLIC HEARING - Consider approval of a Conditional Use Permit to allow for an Accessory Dwelling Unit at 231 South 1300 East, Marci Rosenlof and Chad and Jamee Lefler, Applicants.

Background

The Applicants are requesting approval of an Accessory Dwelling Unit (ADU) which will be part of a new home construction project at this location. Plans show the proposed unit will have two bedrooms and two bathrooms, a living area, kitchen and laundry room.

Findings

According to City Code, 14-4-124, a Conditional Use Permit for an ADU is required and applicants shall meet all standards of the Code for approval. The property is located in the R-3 Single-Family Residential Zone and will consist of a Single-Family dwelling which will be maintained as such by the Applicants. The lot is 0.298 acres (12,980 square feet). There will only be one ADU and there will only be one utility connection located at this property. The proposed ADU will be 1,281 square feet and the square footage of the entire home will be 6,722, which is less than the 40% standard in the Code requiring ADU's to be smaller and an "accessory" to the Single-Family dwelling.

The plans submitted show the Applicants will meet the parking requirements for an ADU showing at least six (6) off-street parking spaces including three (3) in a garage. The entrance for the proposed ADU will be on the north side of the home, and will not be visible from the street. There will also be an interior connection between the ADU and the primary residence. The property will continue to have the appearance of a Single-Family dwelling and should have minimal impact on the surrounding neighborhood.

Staff Recommendation

Based upon the above findings, Staff has determined the Applicants would comply with all requirements for the Conditional Use Permit. Staff recommends approval of the Conditional Use Permit subject to the following conditions:

1. The owner(s) of the property must occupy the primary residence or the ADU.
2. The property is to be used only as a Single-Family use and shall be subject to a Deed Restriction.
3. There shall be no separate utility service connections.
4. The ADU shall meet all the criteria in 14-14-124 of the City Land Use Ordinance.
5. The Conditional Use Permit is solely for this property and is non-transferable.

Bountiful Land Use Ordinance

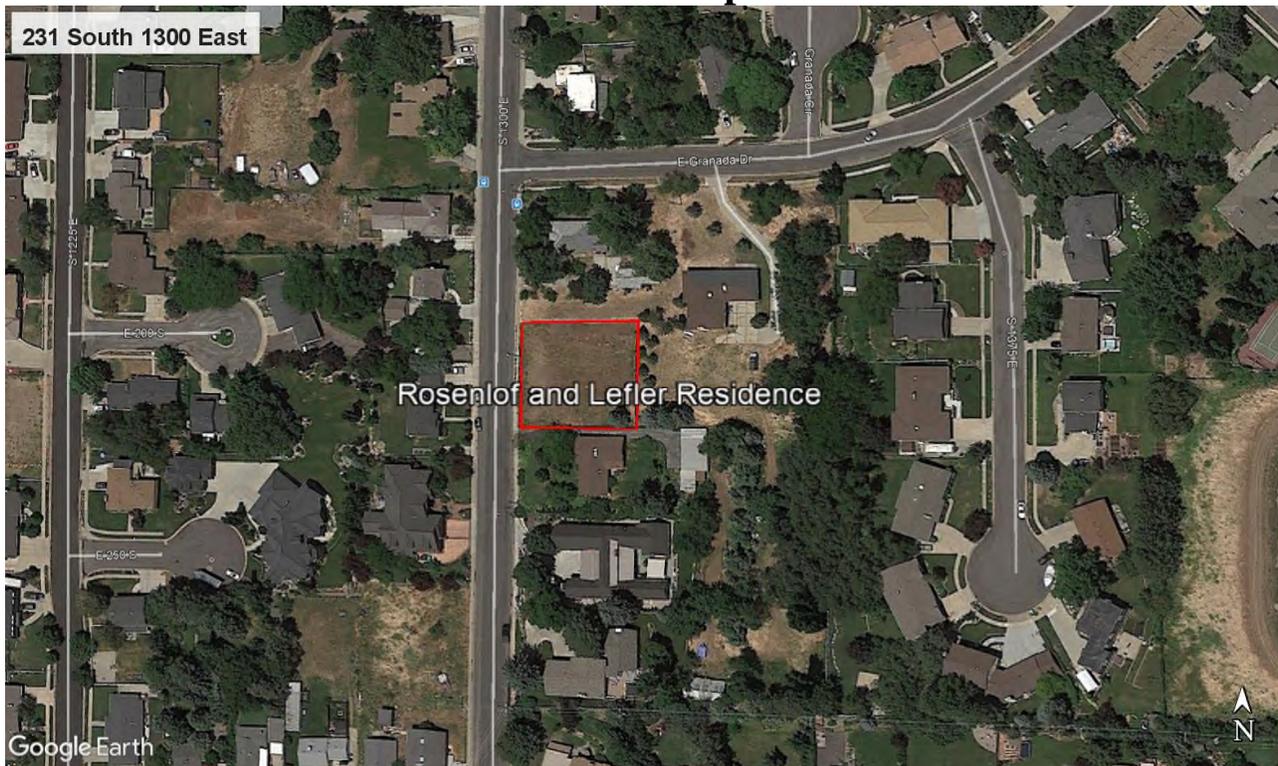
14-14-124

ACCESSORY DWELLING UNIT

- A. *Purpose: The city recognizes that accessory dwelling units (ADUs) in single-family residential zones can be an important tool in the overall housing plan for the city. The purposes of the ADU standards of this code are to:*
1. *Allow opportunities for property owners to provide social or personal support for family members where independent living is desirable;*
 2. *Provide for affordable housing opportunities;*
 3. *Make housing units available to moderate income people who might otherwise have difficulty finding homes within the city;*
 4. *Provide opportunities for additional income to offset rising housing costs;*
 5. *Develop housing units in single-family neighborhoods that are appropriate for people at a variety of stages in the life cycle; and*
 6. *Preserve the character of single-family neighborhoods by providing standards governing development of ADUs.*
- B. *An accessory dwelling unit shall only be approved as a conditional use.*
- C. *An accessory dwelling unit shall not be approved, and shall be deemed unlawful, unless it meets all of the following criteria:*
1. *An accessory dwelling unit shall be conditionally permitted only within a single-family residential zone, and shall not be permitted in any other zone.*
 2. *It is unlawful to allow, construct, or reside in an accessory dwelling unit within a duplex or multi-family residential building or property.*
 3. *It is unlawful to reside in, or allow to reside in, an accessory dwelling unit that has not received a conditional use permit or without written authorization from the Bountiful City Planning Department.*
 4. *A maximum of one (1) accessory dwelling unit shall be permitted as a conditional use on any lot or parcel in a single-family zone.*
 5. *It is unlawful to construct, locate, or otherwise situate an accessory dwelling unit on a lot or parcel of land that does not contain a habitable single-family dwelling.*
 6. *A deed restriction limiting the use of a property to a single-family use, prepared and signed by the Bountiful City Planning Director and all owners of the property on which an accessory dwelling unit is located, shall be recorded with the Davis County Recorder's Office prior to occupancy of the accessory dwelling unit. If a building permit is required, then said deed restriction shall be recorded prior to issuance of the building permit.*
 7. *The property owner, which shall include titleholders and contract purchasers, must occupy either the principal unit or the ADU, but not both, as their permanent residence and at no time receive rent for the owner occupied unit. Application for an ADU shall include proof of owner occupancy as evidenced by voter registration, vehicle registration, driver's license, county assessor records or similar means.*

8. *Separate utility meters shall not be permitted for the accessory dwelling unit.*
 9. *Any property and any structure that contains an approved accessory dwelling unit shall be designed and maintained in such a manner that the property maintains the appearance of a single-family residential use. A separate entrance to the ADU shall not be allowed on the front or corner lot side yard. Any separate entrance shall be located to the side or rear of the principal residence.*
 10. *It is unlawful to construct an accessory dwelling unit, or to modify a structure to include an accessory dwelling unit, without a building permit and a conditional use permit.*
 11. *Adequate off-street parking shall be provided for both the primary residential use and the accessory dwelling unit, and any driveway and parking area shall be in compliance with this Title. In no case shall fewer than four (4) total off street parking spaces be provided with at least 2 of the spaces provided in a garage. Any additional occupant vehicles shall be parked off-street in City Code compliant parking areas.*
- D. *An attached accessory dwelling unit shall be deemed unlawful and shall not be occupied unless all of the following criteria are met:*
1. *Shall not occupy more than forty percent (40%) of the total floor area square footage of the primary dwelling structure,*
 2. *Shall not exceed ten percent (10%) of the buildable land of the lot,*
 3. *Shall be at least three hundred fifty (350) sq ft in size,*
 4. *Shall meet all of the requirements of the International Building Code relating to dwelling units,*
 5. *An attached accessory dwelling unit shall meet all of the required setbacks for a primary dwelling.*
 6. *Shall not have a room used for sleeping smaller than one hundred twenty (120) square feet, exclusive of any closet or other space,*

Aerial Map



ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES INCLUDING STATE AMENDMENTS. NOTHING IN THESE PLANS IS TO BE CONSTRUCTED TO PERMIT WORK NOT CONFORMING TO THESE CODES. **THE MINIMUM STANDARD FOR METHODS AND MATERIALS SHALL BE:**

BUILDING CODE	International Building Code (IBC) 2018
RESIDENTIAL BUILDING CODE	International Residential Code (IRC) 2018
STRUCTURAL CODE	International Building Code (IBC) 2018
PLUMBING CODE	International Plumbing Code (IPC) 2018
MECHANICAL CODE	International Mechanical Code (IMC) 2018
ELECTRICAL CODE	National Electric Code (NEC) 2017
ENERGY CODE	International Energy Conservation Code (IECC) 2015
FIRE/LIFE SAFETY CODE	IFC 2018, NFPA 101 LIFE SAFETY CODE 2012
ACCESSIBILITY CODE	AMERICAN NATIONAL STANDARD AND USABLE BUILDINGS AND FACILITIES (ADA)* ADAAG 2010, ANSI A-117.1-2009

*In case of conflict with U.S. Department of Justice Federal Registers Parts 1 through IV-ADA Guidelines and specific reference to the International Building Code Accessibility Chapters, the more restrictive requirements shall govern.

- THE CONTRACT DOCUMENTS CONSISTS OF THE DRAWINGS, ALL NOTES, AND DATA THEREON, THE SPECIFICATIONS, THE A.I.A. GENERAL CONDITIONS OF THE CONTRACT (A205) THE BONDS AND THE OWNER-CONTRACTOR AGREEMENT. ALL ARE COMPONENTS AND ARE COMPLEMENTARY TO EACH OTHER AND ARE BINDING. ANY INFORMATION IN ANY OF THEM IS AS BINDING AS IF IT WERE IN ALL OF THEM. THE CONTRACTOR'S BID IS FOR THE WORK SPECIFIED AND IMPLIED IN EACH OF THE COMPONENTS OF THE CONTRACT DOCUMENTS.
- THE DRAWINGS ARE INTENDED TO BE CONSIDERED AS NOT SCALE DRAWINGS. ALL DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE AND SHALL BE VERIFIED AND COORDINATED WITH WORK OF ALL TRADES. IF NO DIMENSIONS ARE GIVEN OR DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING FOR CLARIFICATION BEFORE PROCEEDING WITH WORK.
- NO MAJOR CHANGES, MODIFICATIONS OR DEVIATIONS SHALL BE MADE FROM THE DRAWINGS OR SPECIFICATION WITHOUT FIRST SECURING WRITTEN PERMISSIONS FROM THE ARCHITECT. IF CHANGES ARE MADE WITHOUT CONSENT THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF REMEDIAL WORK TO REMOVE AND CORRECT SUCH CHANGES, MODIFICATIONS OR DEVIATIONS TO COMPLY WITH CONSTRUCTION DOCUMENTS.
- THE CONTRACTOR SHALL VISIT THE SITE AND CERTIFY THE EXISTING CONDITIONS AND DIMENSIONS. THE CONTRACTOR SHALL CHECK ALL DIMENSION AND NOTIFY ARCHITECT OR ENGINEER IN CASE OF DISCREPANCIES.
- PRIOR TO PROCEEDING WITH ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING AND NEW UTILITIES, STRUCTURES AND OTHER OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT SO THAT THE CONFLICT CAN BE RESOLVED WITHOUT DELAY.
- THE CONTRACTOR SHALL LAYOUT WORK AND ESTABLISH POINTS, GRADES AND LEVELS WHICH ARE SHOWN ON DRAWINGS. IF THEY DO NOT CONFORM WITH THE PHYSICAL CONDITIONS OF THE PROPOSED WORK, IMMEDIATELY NOTIFY, IN WRITING, THE ARCHITECT WHO WILL MAKE THE NECESSARY REVISIONS OR CORRECTIONS.
- THE CONTRACTOR SHALL PROVIDED ALL MATERIALS, LABOR, EQUIPMENT, TRANSPORTATION, AND SERVICES, WHETHER SHOWN OR IMPLIED, NECESSARY FOR THE COMPLETION OF THE FINISHED STRUCTURE AS OUTLINED IN THE CONSTRUCTION DOCUMENTS, UNLESS NOTED AS TO BE PROVIDED BY OTHERS.
- THE CONTRACTOR SHALL COORDINATE ALL WORK WITH THE APPROVAL OF THE OWNER AND WITH MINIMAL DISRUPTION. ALL DEMOLITION SHALL BE KEPT TO A MINIMUM AND DEBRIS SHALL BE REMOVED FROM SITE IN A TIMELY MANNER. TEMPORARILY REROUTE ANY UTILITIES REQUIRED BY THE OWNER FOR CONTINUOUS SERVICE.
- ALL DUST AND NOISE CREATED BY WORK SHALL BE KEPT TO A MINIMUM. UPON COMPLETION OF ANY WORKS, CONSTRUCTION AREA SHALL BE LEFT FREE OF DEBRIS AND BROOM CLEAN. ALL CONSTRUCTION DEBRIS SHALL BE REMOVED FOR SITE BY CONTRACTOR.
- THE CONTRACTOR SHALL NOTIFY, IN WRITING, THE ARCHITECT OF ANY EXTRA COSTS ARISING FROM THE EXECUTION OF HIS CONTRACT OR SUBCONTRACTS AND SHALL NOT PROCEED WITH SAID WORK UNTIL APPROVAL OF EXTRA COST FOR THE WORK INVOLVED IS RECEIVED IN WRITING FROM THE OWNER AND ARCHITECT.
- THE CONTRACTOR SHALL COORDINATE THE WORK OF VARIOUS TRADES TO EXPEDITE THE JOB IN A SMOOTH AND CONTINUOUS PROCESS. THE CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DELAYS OR CHANGES IN SCHEDULE.
- WORKMANSHIP THROUGHOUT SHALL BE OF THE BEST QUALITY OF TRADE INVOLVED. IF WORKMANSHIP IS DEEMED SUB STANDARD BY ARCHITECT, ENGINEER, OR OWNER IT SHALL BE REMOVED AND REPLACE AT GENERAL CONTRACTORS EXPENSE.
- PLANS, ELEVATIONS, SECTIONS, DETAILS, AND NOTES ARE INTENDED TO SHOW OF DESIGN INTENT FOR COMPLETED FACILITY. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS, ALL INCLUDED AS PART OF WORK. WHEN WORK IS NOT CALLED OUT REQUIRED TO COMPLETE THE PROJECT, IT SHALL BE PROVIDED AT NO ADDITIONAL EXPENSE TO THE OWNER AND BE OF THE BEST MATERIAL AND WORKMANSHIP.
- IT IS THE INTENT OF THESE CONTRACT DOCUMENTS TO DEFINE A COMPLETE FINISHED FACILITY. INCIDENTAL ITEMS, THOSE CONSIDERED TOO OBVIOUS TO REQUIRE EXPLANATION INCLUDING BUT NOT LIMITED TO BACK-UP FRAMING, BLOCKING, CAULKING, FLASHING, HARDWARE, FASTENERS ETC, WHICH MAY NOT BE INDICATED ON THE DRAWINGS OR MENTIONED IN THE SPECIFICATIONS BUT CAN BE LEGITIMATELY AND REASONABLY BE INFERRED TO BELONG TO THE WORK DESCRIBED OR BE NECESSARY IN GOOD PRACTICE TO PROVIDE A COMPLETE INSTALLATION OR SYSTEM SHALL BE PROVIDED AND BE INSTALLED AS THOUGH SPECIFICALLY NOTED HEREIN IN DETAIL.
- IT IS REQUIRED THAT BIDDERS CALL OMISSIONS, CONTRADICTIONS, OR ERRORS IN THE CONTRACT DOCUMENTS TO THE ATTENTION OF THE ARCHITECT AS SOON AS THEY ARE DISCOVERED AND REQUEST WRITTEN INTERPRETATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THAT PORTION OF THE WORK.** THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF REMEDIAL WORK IF HE PROCEEDS TO INSTALL WORK WHERE SUCH MATTERS ARE OBVIOUS. OMISSIONS MAY ALSO BE INCIDENTAL TO, OR CONSIDERED TOO OBVIOUS TO REQUIRE EXPLANATION. CAULKING, HARDWARE, FASTENING, FLASHING, BACK-UP FRAMING AND BLOCKING USUALLY FALL IN THIS GROUP BUT ON OCCASION, A MORE SUBSTANTIAL ITEM IS INVOLVED. CRITERIA IS WHETHER OR NOT THE SUBJECT ITEM IS AN INTEGRAL PART OF THE ASSEMBLY, IS ALMOST ALWAYS USED THEREWITH (GLASS IN A WINDOW) AND IS REASONABLY INFERRED BY THE INFORMATION EXISTING IN THE CONTRACT DOCUMENTS. NO CHANGE ORDER WILL BE CONSIDERED FOR INCIDENTAL ITEMS.
- MANUFACTURER'S INSTRUCTIONS:** WHENEVER PRODUCTS ARE REQUIRED TO BE INSTALLED AND/OR PERFORM IN ACCORDANCE WITH A SPECIFIED MANUFACTURER'S INSTRUCTION OR PROCEDURE, PROCURE, DISTRIBUTE AND MAINTAIN AT THE SITE COPIES OF SUCH INFORMATION. NO ALLOWANCE OR CONSIDERATION WILL BE MADE FOR CLAIMED IGNORANCE AS TO WHAT A CITED REFERENCE STANDARD CONTAINS, AS EACH TRADESMAN IS CONSIDERED TO BE EXPERIENCED AND FAMILIAR WITH THE PUBLISHED STANDARDS OF QUALITY AND WORKMANSHIP FOR HIS OWN TRADE.
- THE CONTRACTOR SHALL COORDINATE HIS WORK WITH THAT OF NOT IN CONTRACT EQUIPMENT CONTRACTORS TO PROVIDE AND COORDINATED ROUGH-INS FOR OWNER FURNISHED, OWNER INSTALLED ITEMS OR EQUIPMENT AS PER SUPPLIERS SPECIFICATIONS AND REQUIREMENTS.
- THE CONTRACTOR, SUB-CONTRACTORS AND OWNER SHALL KEEP LOADS ON THE STRUCTURES WITHIN THE LIMITS OF DESIGN BOTH DURING AND AFTER CONSTRUCTION.
- DISRUPTED EXISTING CONDITIONS I.E. LANDSCAPING, LIGHTING, IRRIGATION, PEDESTRIAN AND VEHICLE ACCESS SHOULD BE MINIMALLY REPLACES AT THE END OF THE CONSTRUCTION TO THE SAME PRIOR TO CONSTRUCTION DISRUPTION.
- THE CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION OR AS OTHERWISE REQUIRED IN THE SPECIFICATIONS.

DEFERRED SUBMITTAL

- NOT APPLICABLE

SYMBOL LEGEND

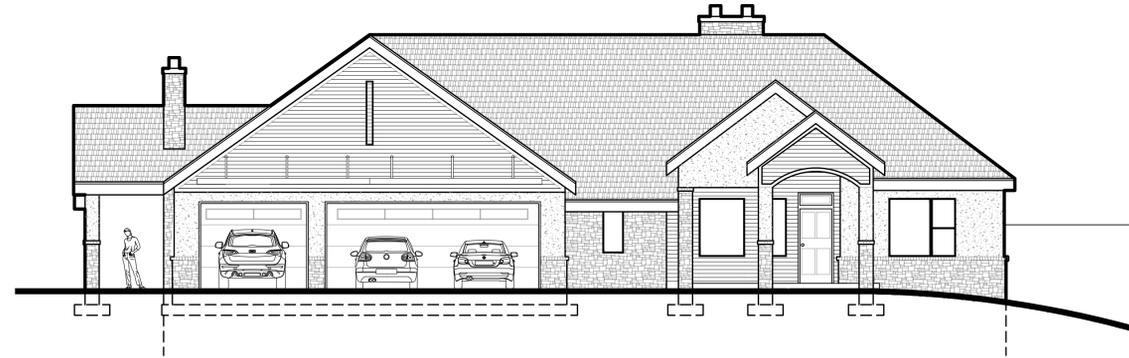
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	ELEVATION TAG- SEE DWG. AS NOTED		SECTION TAG- SEE DWG. AS NOTED		FINISH TAG- SEE FINISH LEGENDS		KEYED NOTE TAG		GLAZING TAG		ROOM NUMBER TAG
	DETAIL TAG- SEE DWG. AS NOTED		DOOR TAG- SEE DOOR SCHEDULE		GRID LINE		REVISION TAG		ELEVATION BENCHMARK		

VICINITY MAP



LEFLER RESIDENCE

231 SOUTH 1300 EAST
BOUNTIFUL, UTAH 84010



LIST OF ABBREVIATIONS

AB	ANCHOR BOLT	KW	KILOWATT
AGP	ABOVE GROUND PLAN	MFR.	MANUFACTURER
ALUM.	ALUMINUM	MATL.	MATERIAL
BLDG.	BUILDING	MAX.	MAXIMUM
BLKG.	BLOCKING	MDL.	MODEL
CAB.	CABINET	M.H.	MAN HOLE
CB	CATCH BASIN	MECH.	MECHANICAL
C.F.C.I.	CONTR. FURN. CONTR. INSTALLED	MIN.	MINIMUM
CLG.	CEILINGING	MISC.	MISCELLANEOUS
CO.	COMPANY	MTL.	METAL
COL.	COLUMN	N.I.C.	NOT IN CONTRACT
CONC.	CONCRETE	NO.	NUMBER
CONST.	CONSTRUCTION	N.T.S.	NOT TO SCALE
CONT.	CONTINUOUS		
CONTR.	CONTRACTOR	O.C.	ON CENTER
DBL.	DOUBLE	O.D.	OUTSIDE DIAMETER
DIA.	DIAMETER	O.F.C.I.	OWNER FURN. CONTR. INSTALLED
D.F.	DRINKING FOUNTAIN	O.F.O.I.	OWNER FURN. OWNER INSTALLED
DRWG.	DRAWING	O.R.D.	OVERFLOW ROOF DRAIN
D/T	DRIVE THROUGH		
DWL.	DOWEL	P.L.	PLASTIC LAMINATE
EA.	EACH	PLMG.	PLUMBING
EL.	ELEVATION	PLYWD.	PLYWOOD
ELEC.	ELECTRICAL	P.S.F.	POUNDS PER SQUARE FOOT
EQUIP.	EQUIPMENT	REF.	REFERENCE
EX.	EXISTING	R.D.	ROOF DRAIN
EXP.	EXPANSION	R.D.L.	ROOF DRAIN LEADER
E.W.C.	ELECTRIC WATER COOLER	REQD.	REQUIRED
		R&S	ROD & SHELF
FACT.	FACTORY	REQMNTS	REQUIREMENTS
F.D.	FLOOR DRAIN	REINF.	REINFORCEMENT
F.E.	FIRE EXTINGUISHER	R.C.P.	REINF. CONCRETE PIPE
F.H.	FIRE HYDRANT		
FIN.	FINISH	S.C.	SOLID CORE
FLR.	FLOOR	S.F.	SQUARE FEET
FNDTN.	FOUNDATION	SHT.	SHEET
FT.	FEET	SIM.	SIMILAR
FTG.	FOOTING	SCHED.	SCHEDULE
		S.S.	STAINLESS STEEL
GA.	GAUGE	STD.	STANDARD
G.BD.	GYPSUM BOARD	STL.	STEEL
G.I.	GALVANIZED IRON	TYP.	TYPICAL
H.C.	HANDICAPPED		
HORIZ.	HORIZONTAL	U.G.	UNDER GROUND
HP	HORSE POWER	VERT.	VERTICAL
HR.	HOUR	V.I.F.	VERIFY IN FIELD
H.S.	HIGH STRENGTH		
		W/	WITH
I.B.C.	INTERNATIONAL BUILDING CODE	W/R	WATER RESISTANT
I.D.	INSIDE DIAMETER	W.W.F.	WELDED WIRE FABRIC
INSUL.	INSULATION		

OWNER

CHAD & JAMEE LEFLER
PHONE (801) 550-1210
jrose8998@gmail.com

STRUCTURAL

1429 SOUTH STATE STREET
OREM, UTAH 84097
PHONE (801) 229-9020
FAX (801) 224-0050
CONTACT: PAUL THORLEY
info@acuteengineering.com

ARCHITECT



SMITH HYATT ARCHITECTS
845 SOUTH MAIN STREET
BOUNTIFUL, UTAH 84010
PHONE (801) 298-5777
CONTACT: THOMAS G. SMITH

CONTRACTOR

BASIS OF DESIGN

JURISDICTION	NORTH SALT LAKE, UTAH
BUILDING USE	RESIDENTIAL
BUILDING CODE	IRC 2015
BUILDING TYPE	V-B
OCCUPANCY	R-3 (SINGLE FAMILY RESIDENCE)
OCCUPANCY SEPARATION	-
AUTOMATIC SPRINKLER SYSTEM	-
No. OF EXITS REQUIRED	-
EXTERIOR WALLS	NOT RATED
OPENINGS	UNPROTECTED
No. OF STORIES	2

AREA CALCULATIONS

3,414 FINISHED SF - MAIN LEVEL
1,008 UNFINISHED SF - MAIN LEVEL (GARAGE)
1,840 FINISHED SF - LOWER LEVEL
1,468 UNFINISHED SF - LOWER LEVEL (STORAGE, MECHANICAL)
5,254 FINISHED SF TOTAL AREA
2,476 UNFINISHED SF TOTAL AREA

1. WE CERTIFY, TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF THAT THE DESIGN OF THE PROJECT COMPLIES WITH THE APPLICABLE PROVISIONS OF THE REQUIREMENTS OF THE THE INTERNATIONAL BUILDINGS LISTED ON THE SHEET WITH REVISED STATUTES OF THE STATE OF UTAH AND FEDERAL ACCESSIBILITY STANDARDS.

2. ALL WORK SHALL BE DONE BY TRADESMEN WITH A CURRENT STATE LICENSE IN STRICT ACCORDANCE WITH CURRENT CODES MENTIONED ON THIS SHEET

3. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONARY MEASURES TO PROTECT THE PUBLIC AND ADJACENT PROPERTIES FROM DAMAGE THROUGHOUT CONSTRUCTION.

ISSUE DATE: 09/06/2019

ARCHITECTURAL

A0.0	COVER SHEET
A0.1	GENERAL NOTES
A0.2	GENERAL NOTES
A0.3	SITE PLAN
A1.0	FOUNDATION PLAN
A1.1A	MAIN LEVEL FLOOR PLAN
A1.1B	LOWER LEVEL FLOOR PLAN
A1.1C	MAIN LEVEL DIMENSION PLAN
A1.1D	LOWER LEVEL DIMENSION PLAN
A1.2A	MAIN LEVEL REFLECTED CEILING PLAN
A1.2B	LOWER LEVEL REFLECTED CEILING PLAN
A1.3	ROOF PLAN
A2.0	EXTERIOR ELEVATIONS
A2.1	EXTERIOR ELEVATIONS
A2.2	EXTERIOR ELEVATIONS
A2.3	EXTERIOR ELEVATIONS
A3.0	BUILDING SECTIONS
A3.0A	BUILDING SECTIONS
A3.1	DETAILS
A3.2	DETAILS
A3.3	DETAILS
A4.0	SCHEDULE
E1.1	MAIN LEVEL ELECTRICAL SCHEMATIC FLOOR PLAN
E1.2	LOWER LEVEL ELECTRICAL SCHEMATIC FLOOR PLAN

STRUCTURAL

SN1	GENERAL STRUCTURAL NOTES
S0.1	FOOTING AND FOUNDATION PLAN
S1.0	MAIN FLOOR FRAMING PLAN
S1.1	MAIN FLOOR SHEAR WALL PLAN
S3.0	ROOF FRAMING PLAN
SD1	STRUCTURAL DETAILS
SD2	STRUCTURAL DETAILS

SMITH HYATT ARCHITECTS
845 SOUTH MAIN STREET BOUNTIFUL, UTAH (801) 298-5777



September 06, 2019

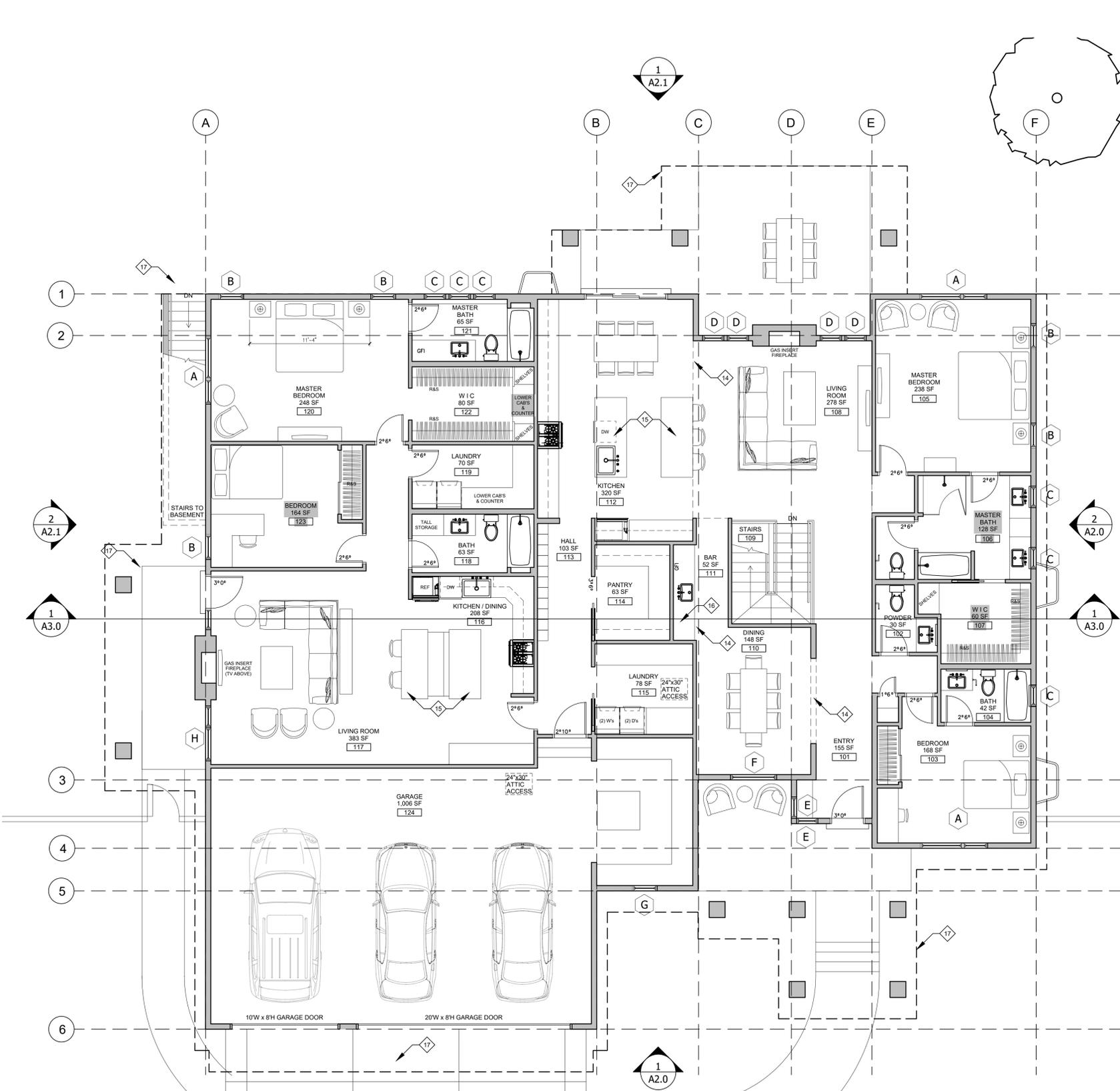
LEFLER RESIDENCE
231 South 1300 East
Bountiful, Utah 84010

No.	DATE	DESCRIPTION
1	09/06/19	CONSTRUCTION DOCUMENTS

COVER SHEET

A0.0

19097



1 MAIN LEVEL FLOOR PLAN
 3/16" = 1'-0" IF THIS SHEET IS NOT 36X24 THEN IT IS A REDUCED SIZE PLOT.
 USE GRAPHIC SCALE ACCORDINGLY.

GENERAL KEYNOTES

- ALL OUTDOOR SPACES AND GRADING SHALL BE SLOPED AWAY FROM THE BUILDING BY 1/4" PER FOOT, MIN.
- NEW 4" CONCRETE SLAB, SEE DETAILS
- TYP. COLUMN ON CONCRETE FOOTING, SEE DETAILS
- WINDOW WELL LOCATION, SEE DETAILS
- PROVIDE WATER LINE TO WASHER
- PROVIDE POWER FOR ELECTRIC WASHER AND DRYER (PROVIDED BY OWNER)
- PROVIDE POWER FOR OVEN RANGE
- PROVIDE POWER OR GAS LINE FOR OVEN (COORDINATE WITH OWNER)
- PROVIDE ADEQUATE POWER, WATER TO REFRIGERATOR (COORDINATE WITH OWNER IF REFRIGERATORS WILL HAVE WATER/ICE DISPENSER)
- PROVIDE ADEQUATE POWER, WATER, AND GAS LINE TO APPLICABLE UTILITY ROOM APPLIANCES (FURNACE, WATER HEATER, ETC - COORDINATE WITH OWNER)
- MECHANICAL CHASE LOCATION
- STORAGE CLOSET, INSTALL ROD & SHELF (LABELED "R&S" ON FLOOR PLAN) IN CLOSETS WHERE SHOWN ON FLOOR PLANS.
- BUILT-IN BENCH SEAT (COORDINATE WITH OWNER)
- LINE OF CEILING ABOVE, REFER TO REFLECTED CEILING PLAN
- BUILT-IN ISLAND
- BUILT-IN UPHOLSTERED BUFFET BENCH
- LINE OF ROOF OVERHANG (ABOVE)

WINDOW TYPE NOTES

ALL SLIDERS AND SINGLE HUNG WINDOWS ARE ASSUMED TO OPEN 50% UNLESS OTHERWISE INDICATED

KEY TO TYPE
 SH = SINGLE HUNG S = SLIDER
 C = CASEMENT F = FIXED A=AWNING

WALL LEGEND

- NEW 2x4 INTERIOR (OR 2x6 PLUMBING WALL)
- NEW 2x6 EXTERIOR WALL
- NEW 4" HALF WALL
- NEW CONCRETE FOUNDATION
- FOOTING

FLOOR DIMENSION NOTES

- EXTERIOR WALL DIMENSIONS ARE GIVEN TO THE OUTSIDE FACE OF STUD AND INSIDE FACE OF STUD. ALL EXTERIOR WALLS ARE 2x6 UNLESS NOTED OTHERWISE
- INTERIOR WALLS ARE DIMENSIONED TO THE FACE OF STUD. ALL INTERIOR WALLS ARE 2x4 UNLESS NOTED OTHERWISE WITH THE EXCEPTION OF PLUMBING WALLS WHICH ARE 2x6.
- WINDOW AND DOORS ARE SHOWN AND NOTED AS NOMINAL SIZES.

GENERAL CONSTRUCTION NOTES

- ALL CONSTRUCTION TO FOLLOW THE REQ'S OF THE PRESENT APPLICABLE CODES BEING USED BY THE LOCAL JURISDICTION
- CONTRACTOR TO VERIFY NOTES, DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION.
- SEE SHEET A0.1 AND A0.2 FOR ADDITIONAL NOTES
- SEE STRUCTURAL SHEETS "S" FOR ADDITIONS NOTES. IN CASE OF CONFLICT, STRUCTURAL NOTES AND DETAILS TAKE PRECEDENCE OVER THOSE SHOWN THE ARCHITECTURAL SHEETS "A"
- PROVIDE BLOCKING IN WALLS FOR INSTALLATION OF CABINETRY. REFER TO FLOOR PLANS.
- PROVIDE BLOCKING IN WALLS FOR INSTALLATION OF RESTROOM ACCESSORIES INCLUDING, BUT NOT LIMITED TO, GRAB BARS, SHOWER SEATS, TOILET PAPER DISPENSERS, MIRRORS, SOAP DISPENSERS, ROBE HOOKS, ETC. COORDINATE W/ OWNER.
- ALL INTERIOR WALLS TO BE 2"x4" STUD W/ 5/8" GYPSUM BOARD EACH SIDE UNLESS NOTED OTHERWISE IN CONSTRUCTION DRAWINGS OR SPECIFICATIONS
- DOOR THRESHOLDS, WHERE PROVIDED, AT DOORWAYS SHALL BE 1/2" HIGH MAXIMUM.
- PROVIDE "QUIET BATT" INSULATION IN ALL WALLS DIVIDING UNITS.
- SLOPE FLOOR TO FLOOR DRAIN IN WET LOCATIONS (SHOWERS, LAUNDRY, ETC)
- INSTALL ROD AND SHELF IN ALL CLOSETS
- SMOKE/CARBON MONOXIDE DETECTORS SEE ELECTRICAL AND FIRE PROTECTION NOTES SHEETS A0.1 AND A0.2 FOR ADDITIONAL SYSTEM AND INSTALLATION REQUIREMENTS:
 ***** SHALL BE 110 V INTERCONNECTED W/ BATTERY BACKUP
 ***** SHALL BE INSTALLED ON EACH FLOOR AND IN ALL BEDROOMS
 ***** SHALL BE INSTALLED IN EACH LOCATION WHERE THERE IS A CEILING CHANGE GREATER THAN 24"

ENERGY NOTES

* PRESCRIPTIVE INSULATION/FENESTRATION REQUIREMENTS (PER 2015 IECC, CLIMATE ZONE 5b)

CEILING R-VALUE	R49
WOOD FRAME WALL R-VALUE CAVITY	R21
GLAZED FENESTRATION U-VALUES	.32
FLOOR R-VALUE	R30 Min.
BASEMENT WALL CAVITY	R19
SLAB R-VALUE AND DEPTH (DEPTH OF FOOTING OR 2 FT)	R10, 2ft
SUPPLY DUCTS IN ATTICS	R-8
RETURN DUCTS IN ATTICS AND ALL DUCTS IN CRAWL SPACES, GARAGES, CANTILEVERS, OR OTHERWISE OUTSIDE THE BUILDING ENVELOPE. (DUCTS OR PORTIONS THEREOF LOCATED COMPLETELY IN THE BUILDING THERMAL ENVELOPE ARE EXEMPT FROM THE INSULATION REQUIREMENT.	R-6

- THE BUILDING ENVELOPE IS REQUIRED TO BE PROPERLY SEALED TO LIMIT AIR INFILTRATION. AIR TIGHTNESS AND INSULATION INSPECTION MUST BE DEMONSTRATED EITHER BY TESTING OR VISUAL INSPECTION.
- CAULK ALL EXTERIOR TOE PLATES WITH LATEX CAULK.
- CAULK ALL WIRE AND PIPE HOLES WHERE THEY PENETRATE ALL UPPER AND LOWER EXTERIOR PLATES.
- USE BLOWN-IN WALL INSULATION IF AT ALL POSSIBLE. IF BATT INSULATION IS USED PACK BEHIND ALL ELECTRICAL BOXES.
- SEAL ALL JOINTS IN HVAC DUCTS, WITH LEAKAGE NO MORE THAN 3%, 3" FIBER MESH TAPE SHOULD BE USED ON ALL COLLAR TO PLENUM CONNECTIONS AND ALL GAPS THAT ARE 1/4" OR WIDER. INSULATE DUCTS WITH R-6 OR GREATER
- FOAM INSULATE BETWEEN ALL EXTERIOR WINDOW AND DOOR EDGES AND ROUGH OPENING FRAME. USE NON-EXPANDING FOAM
- PROVIDE BACK DRAFT DAMPER ON KITCHEN HOOD VENT, DRYER VENT, AND BATHROOM VENT.
- INSULATE ALL HOT WATER PIPES
- INSTALL WRAP KIT ON WATER HEATER.
- FLOOR INSULATION MUST BE INSTALLED TO MAINTAIN CONTACT WITH THE UNDERSIDE OF THE SUB-FLOOR DECKING.
- RECESSED LIGHTING MUST BE SEALED TO LIMIT AIR LEAKAGE.
- THE APPROPRIATE CONSTRUCTION DOCUMENTS AND PREVENTATIVE MAINTENANCE INFORMATION MUST BE PROVIDED ALONG WITH A PERMANENT CERTIFICATE LISTING CERTAIN INSULATION, WINDOW AND HVAC PERFORMANCE INFORMATION.
- PERMANENT CERTIFICATE SHALL BE COMPLETED BY THE CONTRACTOR AND POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED, A UTILITY ROOM OR AN APPROVED LOCATION INSIDE THE BUILDING. WHERE LOCATED ON AN ELECTRICAL PANEL, THE CERTIFICATE SHALL NOT COVER OR OBSTRUCT THE VISIBILITY OF THE CIRCUIT DIRECTORY LABEL, SERVICE DISCONNECT LABEL OR OTHER REQUIRED LABELS. THE CERTIFICATE SHALL LIST THE PREDOMINANT R-VALUES OF INSULATION INSTALLED IN OR ON CEILING/ROOF, WALLS, FOUNDATION (SLAB, BASEMENT WALL, CRAWLSPACE WALL AND FLOOR) AND DUCTS OUTSIDE CONDITIONED SPACES; U-FACTORS FOR FENESTRATION AND THE SOLAR HEAT GAIN COEFFICIENT (SHGC) OF FENESTRATION, AND THE RESULTS FROM REQUIRED DUCT SYSTEM AND AIR LEAKAGE TESTING DONE ON THE BUILDING. WHERE THERE IS MORE THAN ONE VALUE FOR EACH COMPONENT, THE CERTIFICATE SHALL LIST THE VALUE COVERING THE LARGEST AREA. THE CERTIFICATE SHALL LIST THE TYPES AND EFFICIENCIES OF HEATING, COOLING AND SERVICE WATER HEATING EQUIPMENT. WHERE GAS-FIRED UNVENTED ROOM HEATER, ELECTRIC FURNACE, OR BASEBOARD ELECTRIC IS INSTALLED IN THE RESIDENCE, THE CERTIFICATE SHALL LIST "GAS-FIRED UNVENTED ROOM HEATER," "ELECTRIC FURNACE," OR "BASEBOARD ELECTRIC HEATER," AS APPROPRIATE. AN EFFICIENCY SHALL NOT BE LISTED FOR GAS-FIRED UNVENTED ROOM HEATERS, ELECTRIC FURNACES OR ELECTRIC BASEBOARD HEATERS.



September 06, 2019

LEFFLER RESIDENCE
 231 South 1300 East
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FLOOR PLAN

A1.1A

19097

GENERAL KEYNOTES

1. ALL OUTDOOR SPACES AND GRADING SHALL BE SLOPED AWAY FROM THE BUILDING BY 1" PER FOOT, MIN.
2. NEW 4" CONCRETE SLAB, SEE DETAILS
3. TYP. COLUMN ON CONCRETE FOOTING, SEE DETAILS
4. WINDOW WELL LOCATION, SEE DETAILS
5. PROVIDE WATER LINE TO WASHER
6. PROVIDE POWER FOR ELECTRIC WASHER AND DRYER (PROVIDED BY OWNER)
7. PROVIDE POWER FOR OVEN RANGE
8. PROVIDE POWER OR GAS LINE FOR OVEN (COORDINATE WITH OWNER)
9. PROVIDE ADEQUATE POWER, WATER TO REFRIGERATOR (COORDINATE WITH OWNER IF REFRIGERATORS WILL HAVE WATERICE DISPENSER)
10. PROVIDE ADEQUATE POWER, WATER, AND GAS LINE TO APPLICABLE UTILITY ROOM APPLIANCES (FURNACE, WATER HEATER, ETC. - COORDINATE WITH OWNER)
11. MECHANICAL CHASE LOCATION
12. STORAGE CLOSET. INSTALL ROD & SHELF (LABELED "R&S" ON FLOOR PLAN) IN CLOSETS WHERE SHOWN ON FLOOR PLANS.
13. BUILT-IN BENCH SEAT (COORDINATE WITH OWNER)
14. LINE OF CEILING ABOVE, REFER TO REFLECTED CEILING PLAN
15. BUILT-IN ISLAND
16. BUILT-IN UPHOLSTERED BUFFET BENCH

WINDOW TYPE NOTES

ALL SLIDERS AND SINGLE HUNG WINDOWS ARE ASSUMED TO OPEN 50% UNLESS OTHERWISE INDICATED

KEY TO TYPE
 SH = SINGLE HUNG S = SLIDER
 C = CASEMENT F = FIXED A=AWNING

WALL LEGEND

- NEW 2x4 INTERIOR (OR 2x6 PLUMBING WALL)
- NEW 2X6 EXTERIOR WALL
- NEW 42" HALF WALL
- NEW CONCRETE FOUNDATION
- FOOTING

FLOOR DIMENSION NOTES

- A. EXTERIOR WALL DIMENSIONS ARE GIVEN TO THE OUTSIDE FACE OF STUD AND INSIDE FACE OF STUD. ALL EXTERIOR WALLS ARE 2x6 UNLESS NOTED OTHERWISE
- B. INTERIOR WALLS ARE DIMENSIONED TO THE FACE OF STUD. ALL INTERIOR WALLS ARE 2x4 UNLESS NOTED OTHERWISE WITH THE EXCEPTION OF PLUMBING WALLS WHICH ARE 2x6.
- C. WINDOW AND DOORS ARE SHOWN AS SHOWN AND NOTED AS NOMINAL SIZES.

ENERGY NOTES

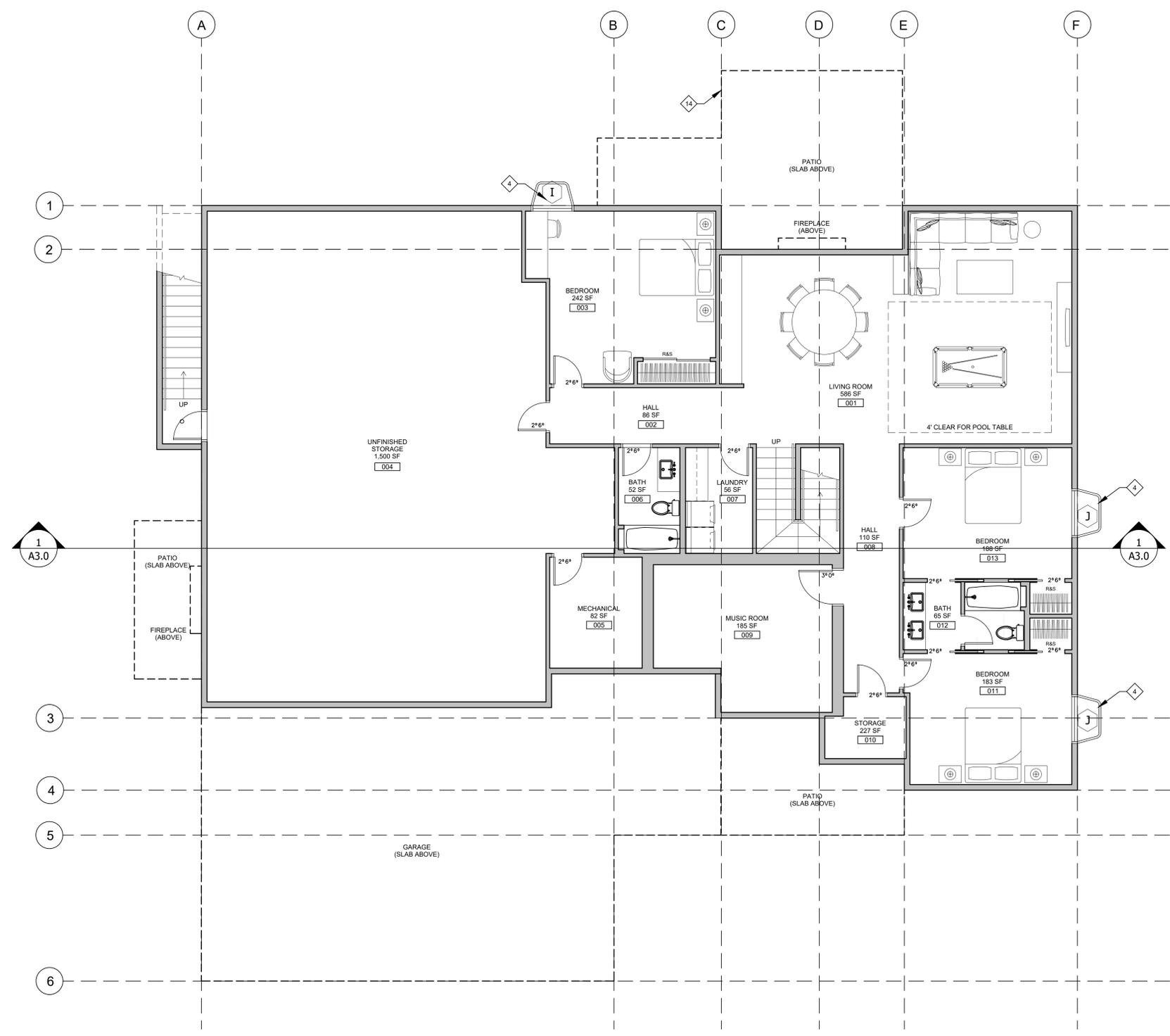
- A. SEE SHEET A1.1B FOR ENERGY REQUIREMENTS

GENERAL CONSTRUCTION NOTES

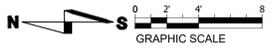
- A. SEE SHEET A0.1, A.2, AND A1.1A FOR GENERAL CONSTRUCTION REQUIREMENTS AND NOTES.

GENERAL AIR BARRIER and INSULATION INSTALLATION REQUIREMENTS
 *Energy Notes on Sheet A1.1A

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
GENERAL REQUIREMENTS	A continuous air barrier shall be installed in the building envelope. Exterior thermal envelope contains a continuous air barrier. Breaks or joints in the air barrier shall be sealed.	Air-permeable insulation shall not be used as a sealing material.
CEILING/ATTIC	The air barrier in any dropped ceiling/soffit shall be aligned with the insulation and any gaps in the air barrier shall be sealed. Access openings, drop down stair or knee wall doors to unconditioned attic spaces shall be sealed.	The insulation in any dropped ceiling/soffit shall be aligned with the air barrier.
WALL	The junction of the foundation and sill plate shall be sealed. The junction of the top plate and top of exterior walls shall be sealed. Knee walls shall be sealed.	Cavities within corners and headers of frame walls shall be insulated by completely filling the cavity with a material having a thermal resistance of R-3 per inch minimum. Exterior thermal envelope insulation for framed walls shall be installed in substantial contact and continuous alignment with the air barrier.
WINDOWS, SKYLIGHTS AND DOORS	The space between window/door jambs and framing and skylights and framing shall be sealed.	
RIM JOISTS	Rim joists shall include the air barrier.	Rim Joists shall be insulated.
FLOORS (including above-garage and cantilevered floors)	The air barrier shall be installed at any exposed edge of insulation.	Floor framing cavity insulation shall be installed to maintain permanent contact with the underside of the subfloor decking, or floor framing cavity insulation shall be permitted to be in contact with the top side of sheathing, or continuous insulation installed on the underside of floor framing and extends from the bottom to the top of all perimeter floor framing members.
CRAWL SPACE WALLS	Exposed earth in unvented crawl spaces shall be covered with a Class I vapor retarder with overlapping joints taped.	Where provided, instead of floor insulation, insulation shall be permanently attached to the crawlspace walls.
SHAFTS, PENETRATIONS	Duct shafts, utility penetrations, and flue shafts opening to exterior or unconditioned space shall be sealed.	
NARROW CAVITIES		Batts in narrow cavities shall be cut to fit, or narrow cavities shall be filled by insulation that on installation readily conforms to the available cavity space.
GARAGE SEPARATION	Air sealing shall be provided between the garage and conditioned spaces.	
RECESSED LIGHTING	Recessed light fixtures installed in the building thermal envelope shall be sealed to the drywall.	Recessed light fixtures installed in the building thermal envelope shall be air tight and IC rated.
PLUMBING AND WIRING		Batt insulation shall be cut neatly to fit around wiring and plumbing in exterior walls, or insulation that on installation readily conforms to available space shall extend behind piping and wiring.
SHOWER/TUB ON EXTERIOR WALL	The air barrier installed at exterior walls adjacent to showers and tubs shall separate them from the showers and tubs.	Exterior walls adjacent to showers and tubs shall be insulated.
ELECTRICAL/PHONE BOX ON EXTERIOR WALLS	The air barrier shall be installed behind electrical or communication boxes or air sealed boxes shall be installed.	
HVAC REGISTER BOOTS	HVAC register boots that penetrate building thermal envelope shall be sealed to the subfloor or drywall.	
CONCEALED SPRINKLERS	When required to be sealed, concealed fire sprinklers shall only be sealed in a manner that is recommended by the manufacturer. Caulking or other adhesive sealants shall not be used to fill voids between fire sprinkler cover plates and walls or ceilings.	



1 LOWER LEVEL FLOOR PLAN
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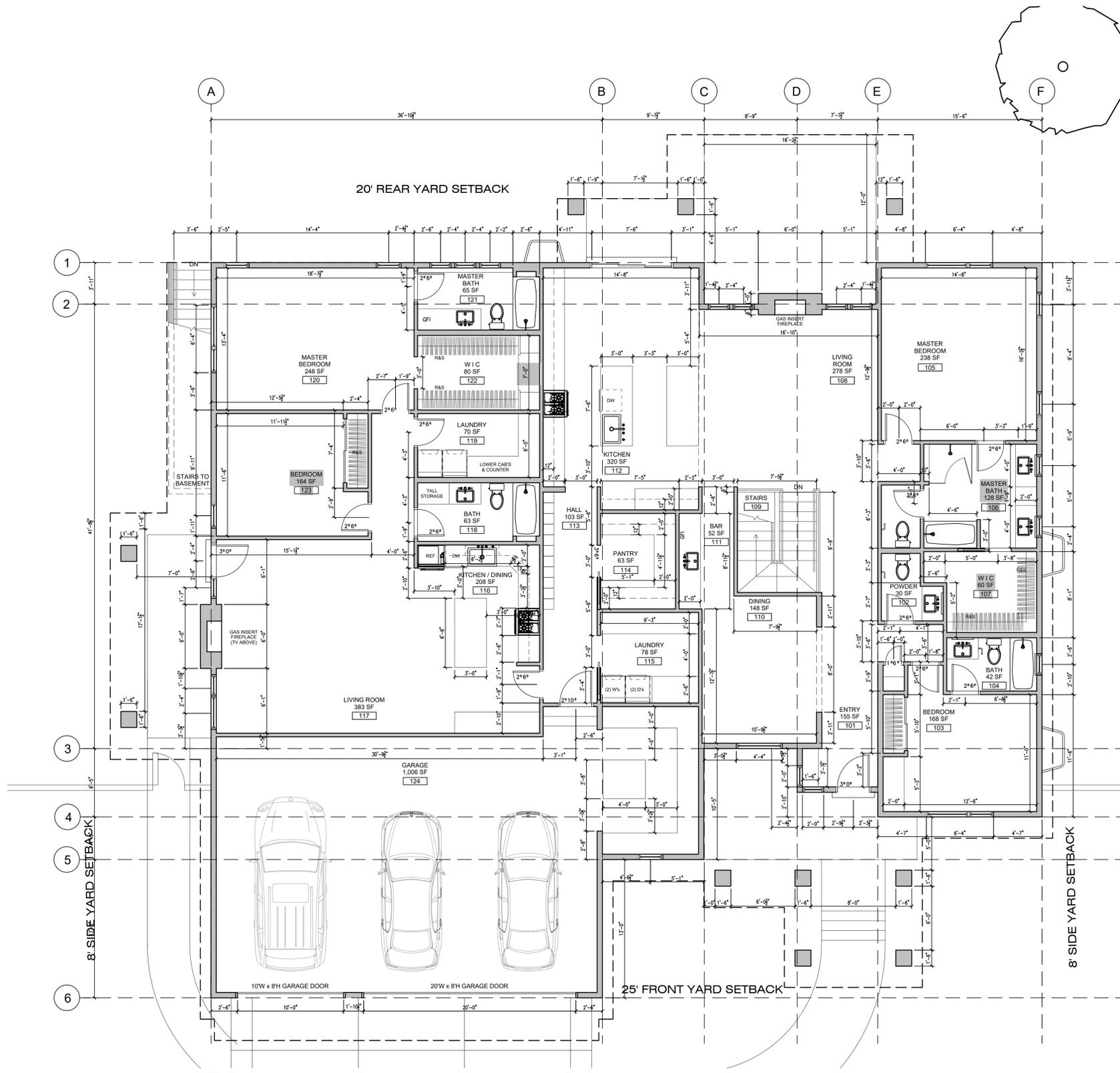


SMITH HYATT ARCHITECTS
 845 SOUTH MAIN STREET BOUNTIFUL, UTAH (801) 298-5777

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1 MAIN LEVEL DIMENSION PLAN
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WINDOW TYPE NOTES
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KEY TO TYPE
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WALL LEGEND

NEW 2x4 INTERIOR (OR 2x6 PLUMBING WALL) [Symbol]
 NEW 2X6 EXTERIOR WALL [Symbol]
 NEW 42" HALF WALL [Symbol]
 NEW CONCRETE FOUNDATION [Symbol]
 FOOTING [Symbol]

FLOOR DIMENSION NOTES
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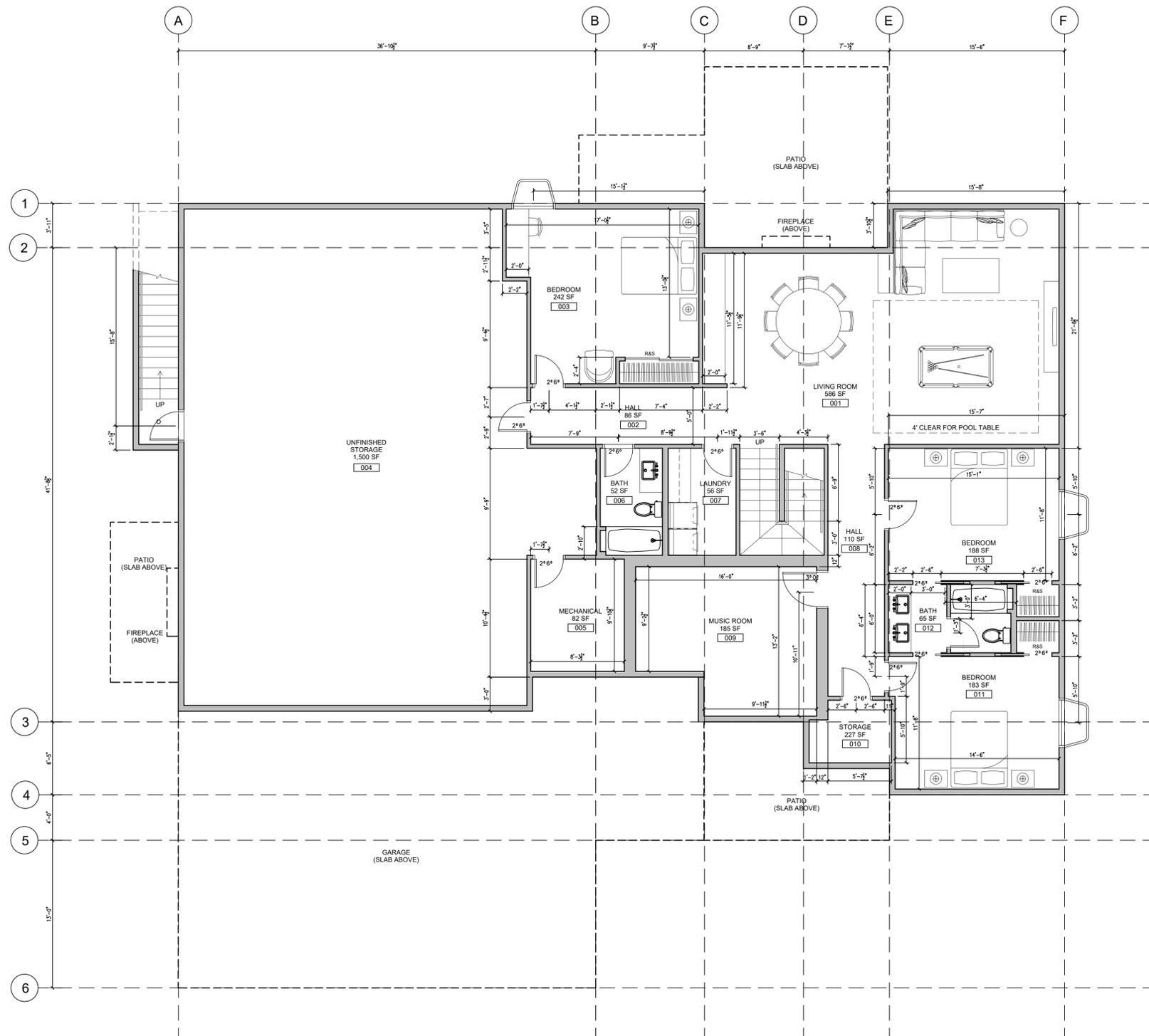
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DIMENSION PLAN

A1.1C
 19097



1 LOWER LEVEL DIMENSION PLAN
 3/16"=1'-0" IF THIS SHEET IS NOT 36X24 THEN IT IS A REDUCED SIZE PLOT.
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WINDOW TYPE NOTES

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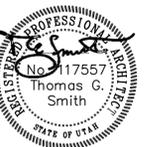
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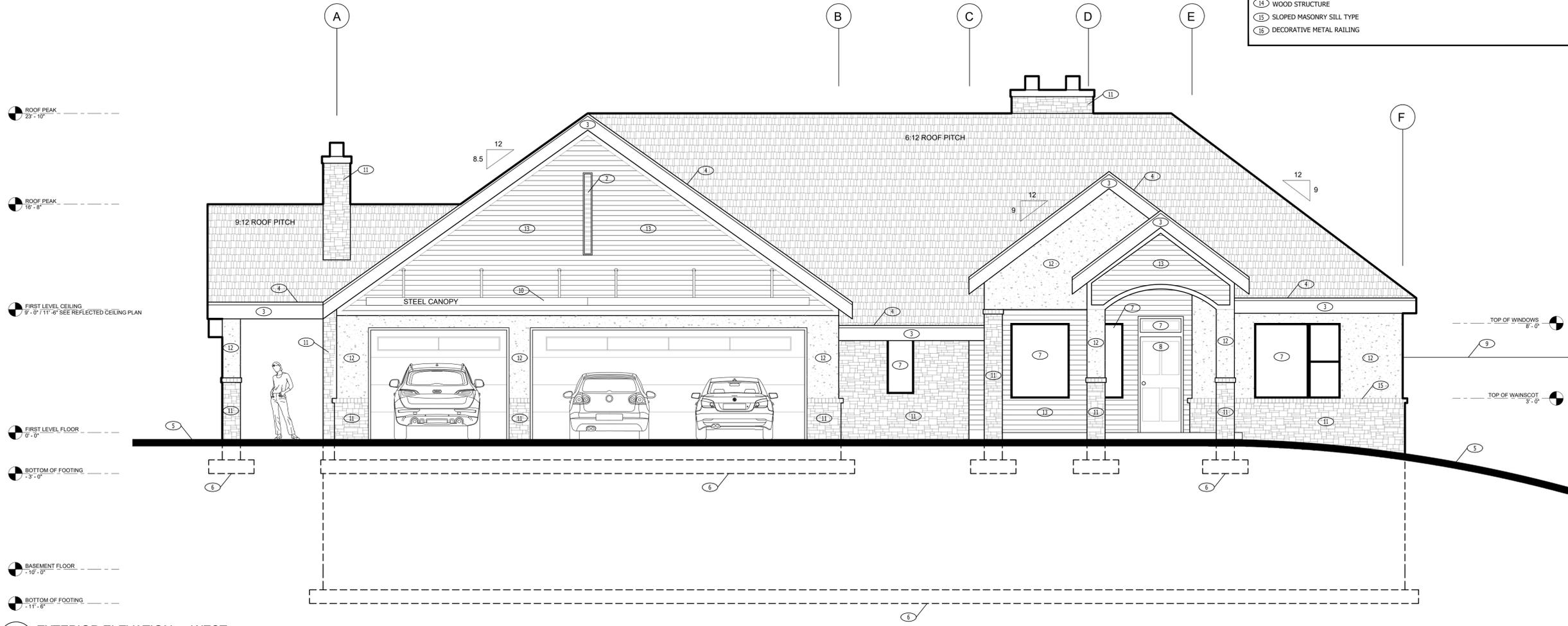
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DIMENSION PLAN

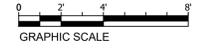
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19097

- ELEVATION KEYNOTES**
- ① CONTRACTOR SHALL ENSURE PROPER ATTIC VENTILATION BE PROVIDED PER IBC 1203.2 (REAR OF BUILDING)
 - ② 6"x8" ATTIC VENT
 - ③ ALUMINUM FASCIA, PARAPET CAP & RAIN GUTTERS. VERIFY LOCATIONS OF DOWNSPOUTS WITH OWNER.(TYP.)
 - ④ METAL DRIP EDGE. (TYP.)
 - ⑤ SLOPE EXTERIOR FINISH GRADE AWAY FROM PERIMETER OF BUILDING FOR PROPER DRAINAGE. (TYP.) MAINTAIN EXTERIOR A MIN. 6" FROM TOP OF FOUNDATION WALL. (TYP.)
 - ⑥ CONCRETE FOOTING AND FOUNDATION.
 - ⑦ SCHEDULED WINDOW. SEE FLOOR PLAN
 - ⑧ SCHEDULE DOOR. SEE FLOOR PLAN
 - ⑨ 6' TALL FENCE
 - ⑩ ALUMINUM CANOPY
 - ⑪ STONE VENEER. PROVIDE AND INSTALL REQUIRED CONTROL JOINTS AS PER MANUFACTURES RECOMMENDATIONS. STONE COLOR & TYPE TO BE SELECTED BY OWNER.
 - ⑫ STUCCO. COLOR TO BE SELECTED BY OWNER
 - ⑬ COMPOSITE WOOD SIDING (HORIZONTAL). TO BE INSTALLED PER MANUFACTURES RECOMMENDATIONS. SEE DETAILS. SIDING COLOR TO BE SELECTED BY OWNER.
 - ⑭ WOOD STRUCTURE
 - ⑮ SLOPED MASONRY SILL TYPE
 - ⑯ DECORATIVE METAL RAILING



1 EXTERIOR ELEVATION - WEST
 1/4" = 1'-0" IF THIS SHEET IS NOT 36X24 THEN IT IS A REDUCED SIZE PLOT. USE GRAPHIC SCALE ACCORDINGLY.



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EXTERIOR ELEVATIONS

A2.0
 19097